GENERAL NOTES

1. CODE COMPLIANCE
   ALL WORK SHALL COMPLY WITH THE 2015 IBC, 2015 IMC, 2015 IFGC, 2015 IFC, 2015 UPC, 2015 IPMC, 2008 NEC, 2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH WASHINGTON STATE AMENDMENTS, 2009 ICC A117.1, AND WITH ALL LOCAL CODES AND ORDINANCES.

2. DIMENSIONS
   A. DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION. NOTIFY THE ARCHITECT OF DISCREPANCIES. IF WORK IS STARTED PRIOR TO NOTIFICATION, THE GENERAL AND SUBCONTRACTOR PROCEED AT THEIR OWN RISK.
   B. UNLESS OTHERWISE NOTED, PLAN DIMENSIONS ARE TO FACE OF STUDS OR FACE OF CONCRETE WALLS. FACE OF STONE VENEER LIES 6" +/- OUTSIDE THE FACE OF FRAMING. INTERIOR PLAN DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED.
   C. VERIFY ALL ROUGH-IN DIMENSIONS FOR WINDOWS, DOORS, PLUMBING, ELECTRICAL FIXTURES AND APPLIANCES PRIOR TO COMMITMENT OF WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES OF DIMENSIONAL TOLERANCES REQUIRED.
3. DOCUMENT REVIEW/VERIFICATION
   CONSULT WITH ARCHITECT REGARDING ANY SUSPECTED ERRORS, OMISSIONS, OR CHANGES ON PLANS BEFORE PROCEEDING WITH THE WORK
4. ROUGH OPENINGS/BACKING:
   VERIFY SIZE AND LOCATION, AS WELL AS PROVIDE ALL OPENINGS THROUGH FLOORS AND WALLS, FURRING, CURBS, ANCHORS, INSERTS, EQUIPMENT BASES AND ROUGH BUCKS/BACKING FOR SURFACE-MOUNTED ITEMS.
5. FURRING:
   PROVIDE FURRING AS REQUIRED TO CONCEAL MECHANICAL AND/OR ELECTRICAL EQUIPMENT IN FINISHED AREAS. FURRING NOT SHOWN ON PLANS SHALL BE APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION.
6. GRADES: VERIFY ALL GRADES AND THEIR RELATIONSHIP TO THE BUILDING(S).
7. FLOOR LINES: "FLOOR LINE" REFERS TO TOP OF CONCRETE SLAB OR TOP OF WOOD SUBFLOOR.
8. REPETITIVE FEATURES: OFTEN DRAWN ONLY ONCE AND SHALL BE PROVIDED AS IF FULLY DRAWN.
9. DOORS:
   DOORS NOT DIMENSIONALLY LOCATED SHALL BE 6" FROM STUD FACE TO EDGE OF DOOR, ROUGH OPENING OR CENTERED BETWEEN WALLS AS SHOWN.
10. WOOD MEMBERS IN CONTACT WITH CONCRETE, AND/OR EXPOSED TO WEATHER:
    TO BE PRESSURE TREATED, TYPICAL. PROVIDE PRESSURE TREATED SILL PLATE IF FINISH GRADE IS WITHIN 8", TYPICAL.
11. FRAMING:
    ALL NEW INTERIOR FRAME PARTITIONS TO BE 2X4 @ 16" O.C., & ALL NEW EXTERIOR FRAME PARTITIONS TO BE 2X6 @ 16" O.C., UNLESS OTHERWISE NOTED. VERIFY W/ STRUCTURAL DRAWINGS. EXISTING EXTERIOR WALLS ARE 2X4 STUDS @ 16" O.C., AND ARE TO REMAIN.
12. VENTILATION:
    VENT ALL BATHROOM FANS, LAUNDRY FANS, RANGE HOODS AND DRYERS TO OUTSIDE ATMOSPHERE. BATHROOM/UTILITY ROOM FANS SHALL BE CAPABLE OF 5 AIR CHANGES PER HOUR AND SHALL BE VENTED DIRECTLY TO THE OUTSIDE THROUGH SMOOTH, RIGID, NON-CORROSIVE METAL, 24 GA. DUCTWORK. FLEX DUCTING IS NOT ALLOWED.
13. FLUES: FLUES TO BE LOCATED MINIMUM 2" FROM ALL COMBUSTIBLE MATERIALS.
14. DOWNSPOUTS: LOCATE NEW DOWNSPOUTS AS SHOWN ON ROOF PLAN, FLOOR PLANS & ELEVATIONS.
15. OTHER DOCUMENTATION: REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL, AND/OR LANDSCAPE DRAWINGS FOR ADDITIONAL DRAWINGS, NOTES, SCHEDULES, AND SYMBOLS.
16. PROTECTION:
    PROTECT ALL EXISTING FINISHES AND SURFACES. ANY DAMAGE WILL BE REPAIRED WITHOUT ADDITIONAL COST TO OWNER.
17. PERMITS:
    SEPARATE ELECTRICAL, MECHANICAL, AND PLUMBING PERMITS ARE REQUIRED IN ADDITION TO THE BASIC BUILDING PERMIT
18. ROOFING:
    PROVIDE NEW ROOFING TO MATCH EXISTING.
19. EXHAUST DUCTS:
    PROVIDE BACKDRAFT DAMPERS AT ALL EXHAUST DUCTS. PROVIDE COMBUSTION AIR OPENINGS INTO FURNACE ROOM PER UMC 703.
20. APPLIANCES:
    CLEARANCES OF UL LISTED APPLIANCES FROM COMBUSTIBLE MATERIALS SHALL BE AS SPECIFIED IN UL LISTING.
21. WATER FLOW:
    SHOWER SHALL BE EQUIPPED WITH FLOW CONTROL DEVICE TO LIMIT WATER FLOW TO 2.5 GALLONS PER MINUTE.
22. SMOKE DETECTORS:
    SMOKE & CARBON MONOXIDE THROUGHOUT NEW CONSTRUCTION. TO BE MONITORED PER FIRE DEPARTMENT REQUIREMENTS.
23. FIREBLOCKING:
    FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAMED CONSTRUCTION PER 2015 IRC SECTION R302.11, SPECIFICALLY: 1) IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, 2) AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES, 3) IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT T.O. & B.O. RUN, 4) AT OPENINGS AROUND VENTS, PIPES, ETC. AT CEILING AND FLOOR LEVEL.

ENERGY NOTES

CODE:	2015 W.S.E.C. & 2015 IRC, WAC 51-11R	CLIMATIC ZONE:	ZONE #4C -MARINE
SPACE HEAT TYPE:	NATURAL GAS, FORCED AIR SYSTEM	THERMAL STANDARDS FOR OPENINGS:	UNLIMITED OPTION
INSULATION VALUES:	WALLS:	R-21	
PRESCRIPTIVE METHOD	FLAT ATTICS/CEILINGS:	R-49	
	VAULTED CEILINGS:	R-38	
	FLOORS (OVER UNHEATED SPACES):	R-30	
	SLAB-ON-GRADE:	R-10	

AIR INFILTRATION: MANUFACTURED DOORS/WINDOWS: CONFORM TO SECTION R402.4.3 OF THE WASHINGTON STATE ENERGY CODE

EXTERIOR JOINTS/OPENINGS: SEAL, CAULK, GASKET OR WEATHERSTRIP TO LIMIT AIR LEAKAGE AT EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES, OPENINGS BETWEEN WALLS AND FOUNDATION, BETWEEN WALLS AND ROOF. OPENINGS AT PENETRATIONS OF UTILITY SERVICES AND ALL OTHER SUCH OPENINGS IN THE BUILDING ENVELOPE

MOISTURE CONTROL: WALLS: VAPOR RETARDER BONDED TO BATT INSULATION. INSTALL WITH STAPLES NOT MORE THAN 8 INCHES ON CENTER AND AND WITH A GAP BETWEEN AND OVER FRAMING NOT GREATER THAN 1/16 OF AN INCH; OR, VAPOR RETARDER OF ONE PERM CUP RATING (4 MIL POLYETHYLENE)

ATTICS/CEILINGS: VAPOR RETARDER OF ONE PERM CUP RATING (4 MIL POLYETHYLENE). INSTALL CONTINUOUSLY

CRAWL SPACE: 6 MIL POLYETHELENE

VENTILATION: ATTICS WITH LOOSE FILL: N.A. BAFFLE VENT OPENINGS TO DEFLECT AIR ABOVE INSULATION SURFACE ENCLOSED JOIST OR RAFTER SPACES. PROVIDE MINIMUM OF ONE INCH CLEAR VENTED AIR SPACE ABOVE INSULATION. TAPER OR COMPRESS INSULATION AT PERIMETER TO INSURE PROPER VENTILATION, MAINTAINING MINIMUM OF R-38.

HEATING & COOLING: AIR SOURCE HEAT PUMP W/ MIN HSPF OF 9.0

TEMP. CONTROL: FOR HEATING AND COOLING, THERMOSTAT SHALL BE CAPABLE OF BEING SET FROM 55-85 DEGREES FARENHEIT AND OF OPERATING THE HEATING/COOLING SYSTEM IN SEQUENCE. THERMOSTAT TO BE AUTOMATIC DAY/NIGHT SETBACK TYPE.

DUCT INSULATION: THERMALLY INSULATE ALL PLENUMS, DUCTS AND ENCLOSURES IN ACCORDANCE WITH SECTION R403.3.1 OF THE WASHINGTON STATE ENERGY CODE.

a. ALL HEATING DUCTS IN UNCONDITIONED SPACES SHALL BE INSULATED WITH A MIN. OF R-8. ALL SEAM JOINTS SHALL BE TAPED, SEALED AND FASTENED WITH THE MINIMUM OF FASTENERS PER WSEC.

b. DUCTS WITHIN A CONCRETE SLAB OR IN THE GROUND SHALL BE INSULATED TO R-10, WITH INSULATION DESIGNED TO BE USED BELOW GRADE.

LIGHTING: RECESSED LIGHTING FIXTURES INSTALLED IN BUILDING ENVELOPE SHALL COMPLY WITH WSEC PROVISIONS AND SHALL BE IC LISTED.

PIPE INSULATION: ALL HOT WATER PIPES, AND NON-RECIRCULATING COLD WATER PIPES LOCATED IN UNCONDITIONED SPACE, SHALL BE INSULATED TO R-3 MIN. PLUMBING OR MECHANICAL CANNOT DISPLACE THE REQUIRED INSULATION.

WHOLE HOUSE VENTILATION: WHOLE HOUSE VENTILATION SYSTEM:

a. WHOLE HOUSE VENTILATION SHALL BE PROVIDED BY EXHAUST FAN PROVIDING 105 CFM RUNNING CONTINUOUSLY PER 2015 IRC TABLES M1507.3.3 (1&2). FAN SHALL BE LESS THAN .35 WATT PER CFM AND CONNECTED TO A 24 HOUR CLOCK TIMER AND HAVE A SONE RATING OF LESS THAN 1.0. VENTILATION SHALL BE ABLE TO OPERATE INDEPENDENTLY OF HEATING SYSTEM.
b. SYSTEM SHALL HAVE A 5'Ø SMOOTH FRESH AIR DUCT W/ LOUVER & SCREEN CONNECTED TO THE RETURN AIR STREAM 4' UPSTREAM OF THE AIR HANDLER AND INSULATED W/ R-4 MIN IN HEATED AREAS.
c. SHALL HAVE A FILTER WITH A MERV OF AT LEAST 6 INSTALLED IN AN EASILY ACCESSIBLE LOCATION.
d. FRESH AIR VENT SHALL BE LOCATED AWAY FROM SOURCES OF ODORS OR FUMES, MIN 10' FROM PLUMBING OR APPLIANCE VENTS, AWAY FROM ROOMS W/ FUEL BURNING APPLIANCES, AND OUT OF ATTICS, CRAWL SPACES, AND GARAGES.
e. AIRFLOW FOR WHOLE HOUSE EXHAUST FAN SHALL BE PROVIDED BY UNDERCUTTING INTERIOR DOORS 1/2" ABOVE FINISHED FLOOR, TYP.

PLUMBING FIXTURES: ALL PLUMBING FIXTURES SHALL CONFORM TO RCW 19.27.170
ALL TOILETS 1.6 GPM MAX. URINALS 1.0 GPF MAX.
SHOWERHEADS <1.75 GPM FAUCETS 2.5 GPM MAX LAVATORIES < 1.0 GPM

PROJECT DATA

PROJECT ADDRESS:	6060 E. MERCER WAY MERCER ISLAND, WA
PROPERTY TAX ID NUMBER:	192405-9269
SCOPE OF WORK:	LOWER: ADDITION OF ELEVATOR, NEW STAIRS, NEW WINDOWS AND DOORS MAIN: NEW ELEVATOR, NEW STAIRS, NEW WINDOWS AND DOORS, RECONFIGURATION OF KITCHEN/DINING UPPER: NEW ELEVATOR, NEW STAIRS, NEW RAISED PITCHED ROOF W/ SKYLIGHT, RECONFIGURATION OF MASTER SUITE, NEW WINDOWS AND DOORS
ZONING:	
ZONING:	R-15
CONSTRUCTION TYPE:	TYPE V B
SEISMIC ZONE:	3
NUMBER OF STORIES:	2 STORIES + DAYLIGHT BASEMENT
FIRE PROTECTION:	NONE
BUILDING HEIGHT	MAX. 30 FT ABOVE AVERAGE BUILDING ELEV.
GROSS FLOOR AREA	12,000 SF OR 40 % LOT AREA, WHICHEVER IS LESS
LOT AREA:	18,087 SF
LOT WIDTH	80.0 FT
SETBACKS:	FRONT LOT LINE = 20 FT REAR LOT LINE = 25 FT SIDE LOT LINES = LOTS >90' WIDTH: SUM OF 15 FT, BOTH >5 FT

PROJECT TEAM

OWNER:	STRUCTURAL: LONGITUDE ONE TWENTY
6060 E. MERCER WAY MERCER ISLAND, WA 98040	-
PHONE: 206.940.4611	PHONE: 206.790.9502
	CONTACT: MANS THURFJELL
ARCHITECT:	CONTRACTOR:
STURMAN ARCHITECTS, INC. 9 - 103RD AVE NE SUITE 203 BELLEVUE, WA 98004	MARCH-MACDONALD, INC. 9725 SE 36TH ST, STE. 401 MERCER ISLAND, WA 98040
PHONE: 425.451.7003	PHONE: 206.232.8464
CONTACT: BRAD STURMAN	CONTACT: CLAY MARCH

LEGAL DESCRIPTION

BEGINNING AT A POINT 110 FEET NORTHERLY OF THE SOUTH LINE OF SAID SECTION 19 AND 517 FEET EASTERLY OF THE EAST MARGIN OF EAST MERCER WAY: THENCE NORTHERLY ON A LINE PERPENDICULAR TO SAID SOUTH SECTION LINE FOR A DISTANCE OF 45 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING NORTHERLY ALONG SAID PERPENDICULAR LINE FOR A DISTANCE OF 55 FEET; THENCE EASTERLY ALONG A LINE PARALLEL TO AND 1200 FEET NORTHERLY OF SAID SOUTH LINE OF SECTION 19 TO THE SHORT OF LAKE WASHINGTON THENCE SOUTHERLY ALONG SAID SHORE OF LAKE WASHINGTON TO A LINE; PARALLEL TO AND 1100 FEET NORTHERLY OF SAID SOUTH LINE OF SECTION 19' THENCE WESTERLY ALONG SAID PARALLEL LINE TO A POINT 475 FEET EASTERLY OF THE EAST RIGHT OF WAY MARGIN OF EAST MERCER WAY; THENCE NORTHEASTERLY IN A STRAIGHT LINE OF A DISTANCE OF APPROXIMATELY 62.94 FEET TO THE TRUE POINT OF BEGINNING

2015 WSEC CREDITS

THIS PROJECT IS CREATING LESS THAN 500 SF OF CONDITIONED SPACE, SO NO CREDITS ARE REQUIRED.

CUT/FILL

CUT = 0 C.Y.

FILL = 0 C.Y.

LEGEND:

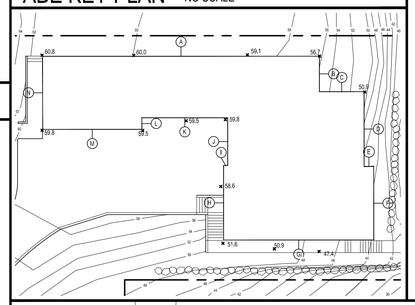
- GRADE MAJOR CONTOUR
- GRADE MINOR CONTOUR
- SILT FENCE
- TREE PROTECTION FENCING
- POWER LINE
- GAS LINE
- TELEPHONE
- WATER LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- AREA OF NEW OR REPLACED IMPERVIOUS
- AREA OF EXISTING IMPERVIOUS TO REMAIN
- AREA OF EXISTING IMPERVIOUS TO BE REMOVED

ABE CALCS

AVERAGE BUILDING ELEVATION

	Wall Length	Elevation Pt.	Wall Length X Elev. Pt.
A	90.625	59.5	5392.1875
B	11.625	55.0	639.375
C	14.65	53.0	776.45
D	24.5	47.0	1151.5
E	3.125	45.0	140.625
F	24.125	44.0	1061.5
G	49	49.0	2401
H	24.42	55.9	1365.078
I	1.33	59.2	78.736
J	15.667	59.2	927.4864
K	28.1	59.5	1671.95
L	3.83	59.5	227.885
M	32.5	59.5	1933.75
N	24	360.3	8647.2
	290.997	**645.8**	**15833.7729**
15833.7729	**54.41**	Average Building Elevation	
290.997			

ABE KEY PLAN NO SCALE



LOT COVERAGE (IMPERVIOUS AREA)

	GROSS LOT S.F.	MAIN STRUCT. & ROOF S.F.	DRIVES/ PARKING	TOTAL LOT COVERAGE	% LOT COVERAGE
EXISTING IMPERVIOUS AREA	18,087 SF	4762 SF	2280 SF	7042 SF	38.9 %
PROPOSED IMPERVIOUS AREA		4762 SF	2280 SF	7042 SF	38.9 %
NET GAIN/LOSS IMPERVIOUS AREA		+0 SF	+0 SF	+0 SF	+0 %
% ALLOWED IMPERVIOUS AREA				6330.45 SF ALLOWABLE	35 %

FRONT STEPS	CONC STEPS	IMPERVIOUS DECK	STAIRS & PAVER PATH	OPEN DECK	CONC. PATIO	TOTAL HARDSCAPE	% IMPERVIOUS
75.7 SF	76 SF	301 SF	432.5 SF	309 SF	374.7 SF	1568.9 SF	8.7 %
75.7 SF	71 SF	413 SF	383.2	309 SF	374.7 SF	1626.6 SF	8.9 %
+0 SF	-5 SF	+112 SF	-49.3 SF	+0 SF	+0 SF	+57.7 SF	+.2 %
						1627.83 SF ALLOWABLE	9 %

HIGHEST EL: 70.1' -
LOWEST EL: 18.7'
ELEVATION DIFFERENCE= 51.4'

47.0' DIVIDED BY 210.0' (HORIZ. DIST. BTWN. HIGHEST & LOWEST ELEV.) = .245

LOT SLOPE IS 24.5%,
WHICH IS GREATER THAN 15% SO LOT COVERAGE ALLOWED IS 35%.

ADDITIONAL 9% OF LOT SIZE WILL DETERMINE ALLOWABLE HARDSCAPE SURFACE

SHEET INDEX

BUILDING AREA

	LOWER FLOOR	MAIN FLOOR	UPPER FLOOR	HEATED SUB-TOTAL	ATTACHED GARAGE		GRAND TOTAL	UNHEATED DECKS
EXISTING HOUSE:	1446 SF	2759 SF	1888 SF	6093 SF	780 SF		6873 SF	1832 SF
PROPOSED CHANGES:	+ 76 SF	+15 SF	+7 SF	+ 98 SF	-/+ 0 SF		+ 98 SF	+191 SF
PROPOSED HOUSE:	1522 SF	2774 SF	1895 SF	6191 SF	780 SF		6971 SF	2023 SF

GROSS FLOOR AREA

MAX GFA FOR R-15 IS EITHER 12,000 SQUARE FEET OR 40% OF THE LOT AREA, WHICHEVER IS LESS

40% OF 18,087 SF = 7,234.8 SF, SO THIS IS THE MAX ALLOWABLE GFA.

THE PROPOSED GROSS FLOOR AREA OF THIS RESIDENCE IS AS FOLLOWS:

LOWER FLOOR: 1522 SF
MAIN FLOOR: 3554 SF
UPPER FLOOR: 1895 SF
TOTAL: 6971 SF

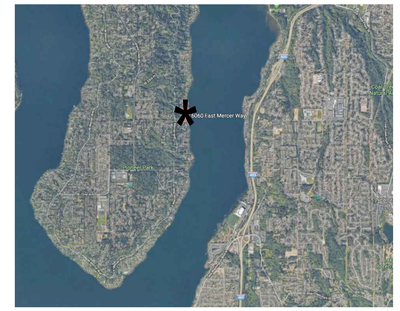
ADDITIONS
MASTER BEDROOM CEILING 12-16' : 199.5 SF

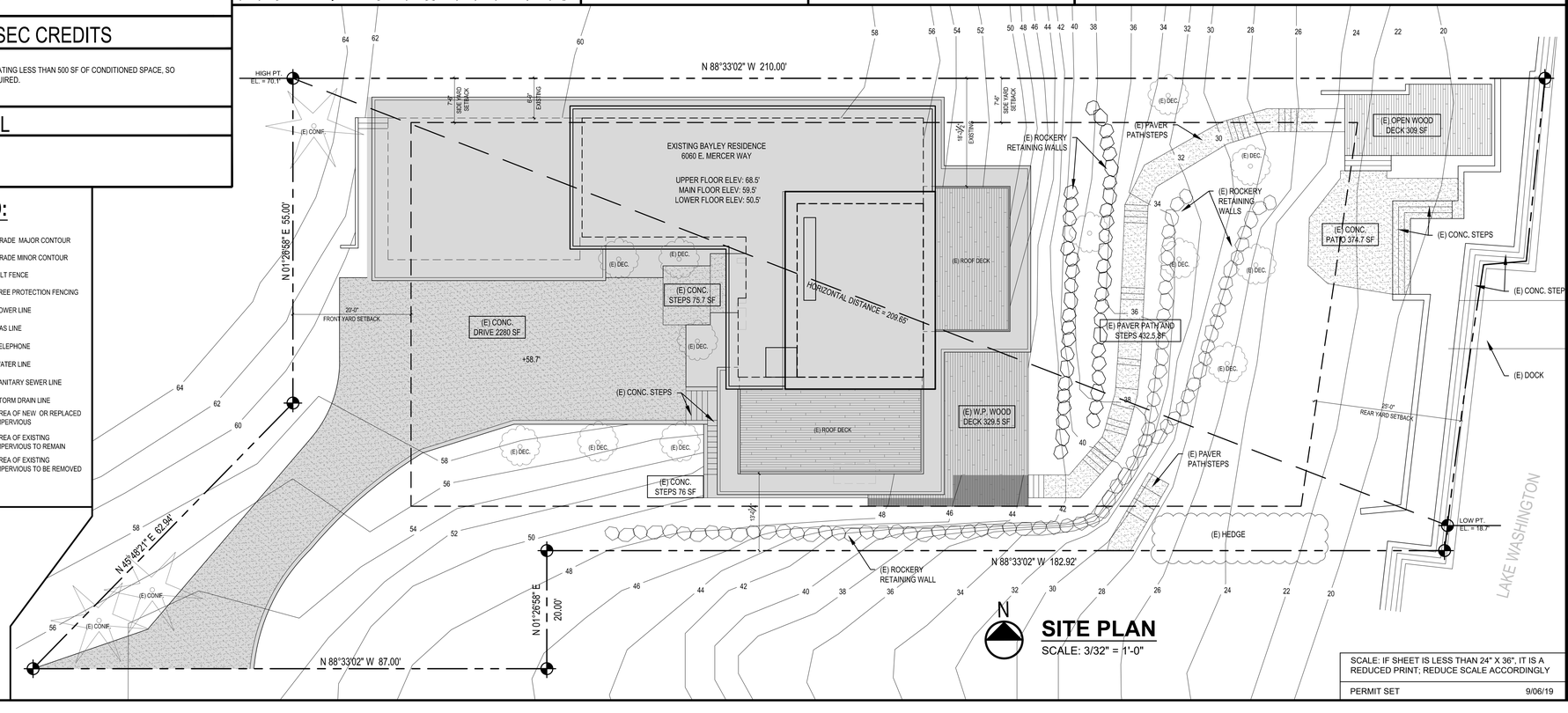
SUBTRACTIONS
UPPER FLOOR STAIR ALLOWANCE: 75 SF

GRAND TOTAL: 7095.5 SF OR 39.2%

7095.5 SF OF GROSS FLOOR AREA
IS LESS THAN MAXIMUM 7,234.8 SF

VICINITY MAP





N

SITE PLAN

SCALE: 3/32" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" X 36", IT IS A REDUCED PRINT; REDUCE SCALE ACCORDINGLY

PERMIT SET 9/06/19

STURMAN ARCHITECTS

TEL (425) 451-7003

9 103rd Avenue NE
Suite 203
Bellevue, WA 98004

5562 REGISTERED ARCHITECT
BRADLEY J. STURMAN
STATE OF WASHINGTON

BAYLEY RESIDENCE
PERMIT SET
6060 E. MERCER WAY
MERCER ISLAND, WA 98040

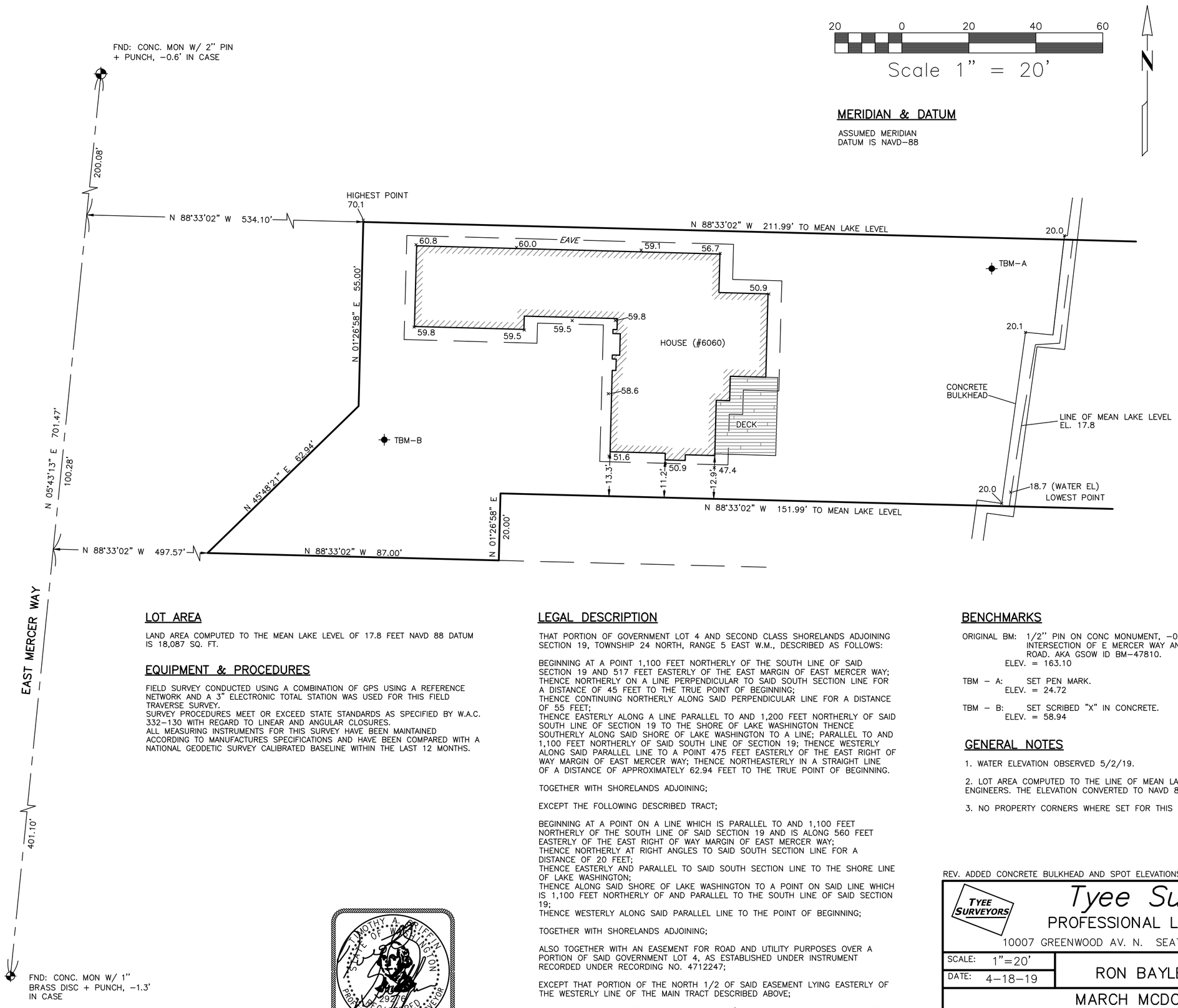
PHASE 2
GENERAL NOTES
SITE PLAN

REVISIONS:
1 2019-9-21 DESIGN REVISIONS
2 2019-9-04 DESIGN REVISIONS

DRAWN BY: KE
CHECKED BY: BJS

SHEET A1.0

PLOT DATE: 9/6/2019



MERIDIAN & DATUM

ASSUMED MERIDIAN
DATUM IS NAVD-88

LOT AREA

LAND AREA COMPUTED TO THE MEAN LAKE LEVEL OF 17.8 FEET NAVD 88 DATUM IS 18,087 SQ. FT.

EQUIPMENT & PROCEDURES

FIELD SURVEY CONDUCTED USING A COMBINATION OF GPS USING A REFERENCE NETWORK AND A 3" ELECTRONIC TOTAL STATION WAS USED FOR THIS FIELD TRAVERSE SURVEY.
SURVEY PROCEDURES MEET OR EXCEED STATE STANDARDS AS SPECIFIED BY W.A.C. 332-130 WITH REGARD TO LINEAR AND ANGULAR CLOSURES.
ALL MEASURING INSTRUMENTS FOR THIS SURVEY HAVE BEEN MAINTAINED ACCORDING TO MANUFACTURES SPECIFICATIONS AND HAVE BEEN COMPARED WITH A NATIONAL GEODETIC SURVEY CALIBRATED BASELINE WITHIN THE LAST 12 MONTHS.

4-18-19

LEGAL DESCRIPTION

THAT PORTION OF GOVERNMENT LOT 4 AND SECOND CLASS SHORELANDS ADJOINING SECTION 19, TOWNSHIP 24 NORTH, RANGE 5 EAST W.M., DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT 1,100 FEET NORTHERLY OF THE SOUTH LINE OF SAID SECTION 19 AND 517 FEET EASTERLY OF THE EAST MARGIN OF EAST MERCER WAY;
THENCE NORTHERLY ON A LINE PERPENDICULAR TO SAID SOUTH SECTION LINE FOR A DISTANCE OF 45 FEET TO THE TRUE POINT OF BEGINNING;
THENCE CONTINUING NORTHERLY ALONG SAID PERPENDICULAR LINE FOR A DISTANCE OF 55 FEET;
THENCE EASTERLY ALONG A LINE PARALLEL TO AND 1,200 FEET NORTHERLY OF SAID SOUTH LINE OF SECTION 19 TO THE SHORE OF LAKE WASHINGTON THENCE SOUTHERLY ALONG SAID SHORE OF LAKE WASHINGTON TO A LINE; PARALLEL TO AND 1,100 FEET NORTHERLY OF SAID SOUTH LINE OF SECTION 19; THENCE WESTERLY ALONG SAID PARALLEL LINE TO A POINT 475 FEET EASTERLY OF THE EAST RIGHT OF WAY MARGIN OF EAST MERCER WAY; THENCE NORTHEASTERLY IN A STRAIGHT LINE OF A DISTANCE OF APPROXIMATELY 62.94 FEET TO THE TRUE POINT OF BEGINNING.

TOGETHER WITH SHORELANDS ADJOINING;

EXCEPT THE FOLLOWING DESCRIBED TRACT;

BEGINNING AT A POINT ON A LINE WHICH IS PARALLEL TO AND 1,100 FEET NORTHERLY OF THE SOUTH LINE OF SAID SECTION 19 AND IS ALONG 560 FEET EASTERLY OF THE EAST RIGHT OF WAY MARGIN OF EAST MERCER WAY;
THENCE NORTHERLY AT RIGHT ANGLES TO SAID SOUTH SECTION LINE FOR A DISTANCE OF 20 FEET;
THENCE EASTERLY AND PARALLEL TO SAID SOUTH SECTION LINE TO THE SHORE LINE OF LAKE WASHINGTON;
THENCE ALONG SAID SHORE OF LAKE WASHINGTON TO A POINT ON SAID LINE WHICH IS 1,100 FEET NORTHERLY OF AND PARALLEL TO THE SOUTH LINE OF SAID SECTION 19;
THENCE WESTERLY ALONG SAID PARALLEL LINE TO THE POINT OF BEGINNING;

TOGETHER WITH SHORELANDS ADJOINING;

ALSO TOGETHER WITH AN EASEMENT FOR ROAD AND UTILITY PURPOSES OVER A PORTION OF SAID GOVERNMENT LOT 4, AS ESTABLISHED UNDER INSTRUMENT RECORDED UNDER RECORDING NO. 4712247;

EXCEPT THAT PORTION OF THE NORTH 1/2 OF SAID EASEMENT LYING EASTERLY OF THE WESTERLY LINE OF THE MAIN TRACT DESCRIBED ABOVE;

AND EXCEPT THAT PORTION OF THE SOUTH 1/2 OF SAID EASEMENT LYING EASTERLY OF A LINE 560 FEET EASTERLY OF THE EAST RIGHT-OF-WAY MATGIN OF EAST MERCER WAY;

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

BENCHMARKS

ORIGINAL BM: 1/2" PIN ON CONC MONUMENT, -0.6' IN CASE AT INTERSECTION OF E MERCER WAY AND GLEN HOME ROAD. AKA GSOW ID BM-47810.
ELEV. = 163.10

TBM - A: SET PEN MARK.
ELEV. = 24.72

TBM - B: SET SCRIBED "X" IN CONCRETE.
ELEV. = 58.94

GENERAL NOTES

1. WATER ELEVATION OBSERVED 5/2/19.

2. LOT AREA COMPUTED TO THE LINE OF MEAN LAKE LEVEL PER CORP OF ENGINEERS. THE ELEVATION CONVERTED TO NAVD 88 IS 17.8 FEET

3. NO PROPERTY CORNERS WHERE SET FOR THIS SURVEY.

REV. ADDED CONCRETE BULKHEAD AND SPOT ELEVATIONS -AA 5-6-19

TYEE SURVEYORS

Tyee Surveyors

PROFESSIONAL LAND SURVEYORS

10007 GREENWOOD AV. N. SEATTLE, WA. 98133 206-525-3660

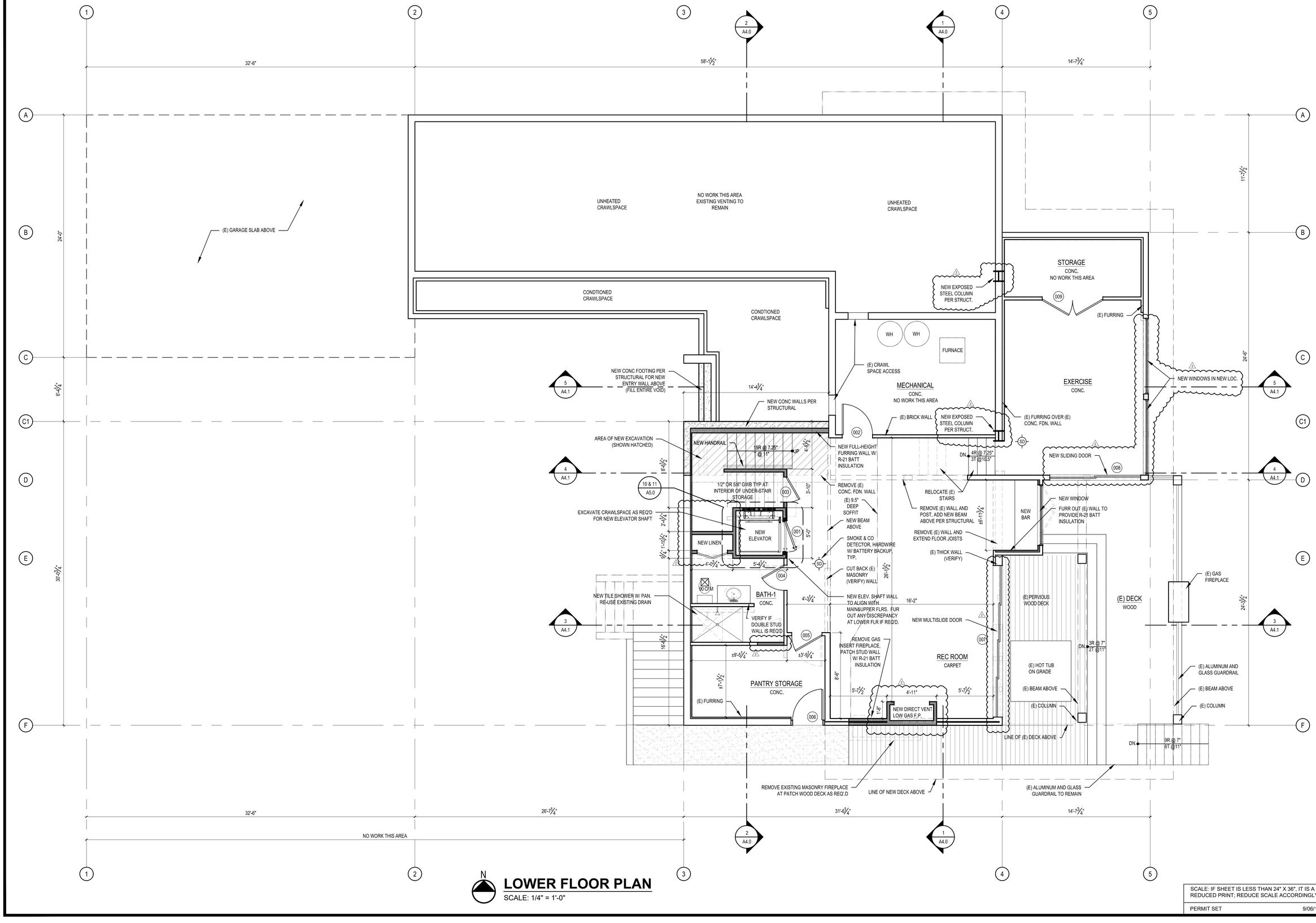
SCALE: 1"=20'	RON BAYLEY	DRAWN BY: RG
DATE: 4-18-19		REVISED TG

MARCH MCDONALD

6060 E. MERCER WAY MERCER ISLAND, 98040

SITE PLAN	DRAWING NUMBER 19044

SE/4, SE1/4, SEC. 19, T. 24 N., R. 5 E., W.M.



N

LOWER FLOOR PLAN

SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" X 36", IT IS A REDUCED PRINT; REDUCE SCALE ACCORDINGLY

PERMIT SET 9/06/19

STURMAN ARCHITECTS

TEL (425) 451-7003

9 103rd Avenue NE
Suite 203
Bellevue, WA 98004

5562 REGISTERED ARCHITECT
BRADLEY J. STURMAN
STATE OF WASHINGTON

www.sturmanarchitects.com

BAYLEY RESIDENCE
PERMIT SET
6060 E. MERCER WAY
MERCER ISLAND, WA 98040

PHASE 2
LOWER FLOOR PLAN

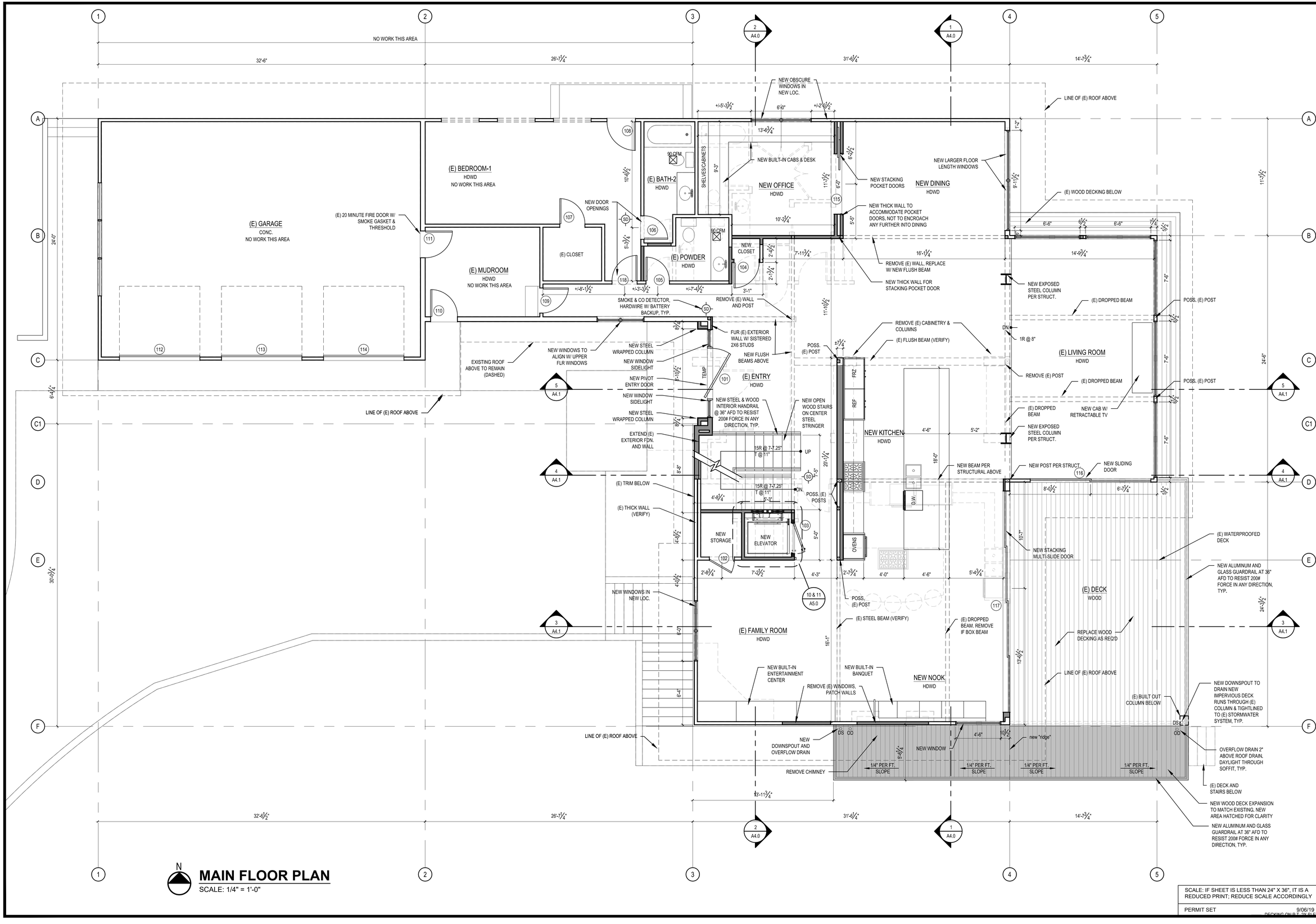
REVISIONS:
1 2019-9-21 DESIGN REVISIONS
2 2019-9-6 DESIGN REVISIONS

DRAWN BY: KE

CHECKED BY: BJS

SHEET
A2.0

PLOT DATE: 9/6/2019



N

MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" X 36", IT IS A REDUCED PRINT; REDUCE SCALE ACCORDINGLY

PERMIT SET 9/06/19

DECKING ON P.T. 2X SLEEP

STURMAN ARCHITECTS

TEL (425) 451-7003

9 103rd Avenue NE
Suite 203
Bellevue, WA 98004

5562 REGISTERED ARCHITECT
BRADLEY J. STURMAN
STATE OF WASHINGTON

www.sturmanarchitects.com

BAYLEY RESIDENCE
PERMIT SET
6060 E. MERCER WAY
MERCER ISLAND, WA 98040

PHASE 2
MAIN FLOOR PLAN

REVISIONS:
2019-8-21 DESIGN REVISIONS
2019-9-6 DESIGN REVISIONS

DRAWN BY: KE

CHECKED BY: BJS

SHEET A2.1

PLOT DATE: 9/6/2019

DOOR SCHEDULE

LOWER FLOOR

DOOR NO.	LOCATION	SIZE WIDTH	SIZE HEIGHT	DOOR TYPE	TEMP. GLASS	DOOR FIN.	DOOR THK.	U-VAL. (MIN.)	OPENING	REMARKS
001	LOWER HALL ELEVATOR	3'-0"	6'-8"	A	-	-	1-3/4"	-	NEW	ELEVATOR DOOR
002	MECHANICAL ROOM	3'-0"	6'-8"	A	-	-	1-3/4"	-	EXISTING	SOUND GASKET
003	STAIR STORAGE	2'-6"	6'-8"	A	-	-	1-3/4"	-	NEW	
004	BATH-1	2'-6"	6'-8"	A	-	-	1-3/4"	-	EXISTING	
005	PANTRY STORAGE	3'-0"	6'-8"	A	-	-	1-3/4"	-	EXISTING	
006	PANTRY STORAGE	3'-0"	6'-8"	A	-	-	1-3/4"	.30	EXISTING	
007	REC ROOM	15'-0"	6'-8"	H	Y	-	1-3/4"	.30	ENLARGED	BI-PART SLIDER
008	EXERCISE	9'-0"	6'-8"	C	Y	-	1-3/4"	.30	ENLARGED	SLIDING DOOR
009	EXERCISE STORAGE	PR 3'-0"	6'-8"	D	-	-	1-3/4"	-	EXISTING	

MAIN FLOOR

DOOR NO.	LOCATION	SIZE WIDTH	SIZE HEIGHT	DOOR TYPE	TEMP. GLASS	DOOR FIN.	DOOR THK.	U-VAL. (MIN.)	OPENING	REMARKS
101	ENTRY DOOR	5'-0"	9'-0" VIF	E	-	-	1-3/4"	.30	NEW	PIVOT DOOR
102	NEW STORAGE	2'-6"	6'-8"	A	-	-	1-3/4"	-	NEW	BARN DOOR
103	MAIN HALL ELEVATOR	3'-0"	6'-8"	A	-	-	1-3/4"	-	NEW	ELEVATOR DOOR
104	POWDER	2'-6"	6'-8"	A	-	-	1-3/4"	-	EXISTING	
105	BEDROOM-1	2'-4"	6'-8"	A	-	-	1-3/4"	-	EXISTING	
106	BATH-2	2'-4"	6'-8"	A	-	-	1-3/4"	-	EXISTING	
107	BEDROOM-1 CLOSET	2'-6"	6'-8"	A	-	-	1-3/4"	-	EXISTING	
108	BEDROOM-1	2'-10"	6'-8"	A	-	-	1-3/4"	.30	EXISTING	
109	MUDROOM	2'-6"	6'-8"	A	-	-	1-3/4"	-	EXISTING	
110	MUDROOM	2'-8"	6'-8"	A	-	-	1-3/4"	.30	EXISTING	
111	MUDROOM	2'-8"	6'-8"	M	-	-	1-3/4"	.30	EXISTING	20 MIN FIRE RATED DOOR
112	GARAGE	8'-0"	7'-0"	F	Y	-	1-3/4"	-	EXISTING	OVERHEAD DOOR
113	GARAGE	8'-0"	7'-0"	F	Y	-	1-3/4"	-	EXISTING	OVERHEAD DOOR
114	GARAGE	8'-0"	7'-0"	F	Y	-	1-3/4"	-	EXISTING	OVERHEAD DOOR
115	NEW OFFICE	PR 3'-0"	6'-8"	G	-	-	1-3/4"	-	NEW	STACKING POCKET DOORS
116	LIVING ROOM	12'-0"	6'-8"	C	Y		1-3/4"	.30	NEW	SLIDING DOOR
117	KITCHEN	22'-0"	6'-8"	H	Y	-	1-3/4"	.30	NEW	STACKING MULTISLIDE DOORS
118	BEDROOM-1	2'-6"	6'-8"	A	-	-	1-3/4"	-	NEW	

UPPER FLOOR

DOOR NO.	LOCATION	SIZE WIDTH	SIZE HEIGHT	DOOR TYPE	TEMP. GLASS	DOOR FIN.	DOOR THK.	U-VAL. (MIN.)	OPENING	REMARKS
201	EXTERIOR STORAGE	2'-8"	6'-8"	A	-	-	1-3/4"	.30	NEW	
202	UPPER HALL ELEVATOR	3'-0"	6'-8"	A	-	-	1-3/4"	-	NEW	ELEVATOR DOOR
203	UPPER HALL	2'-9 1/2"	6'-8"	I	Y	-	1-3/4"	.30	EXISTING	
204	NEW CLOSET	2'-6"	6'-8"	J	-	-	1-3/4"	-	NEW	POCKET DOOR
205	MASTER BEDROOM	10'-0"	6'-8"	C	Y	-	1-3/4"	.30	NEW	SLIDING DOOR
206	MASTER BEDROOM	3'-0"	6'-8"	A	-	-	1-3/4"	-	NEW	
207	MASTER BEDROOM	14'-6"	6'-8"	K	Y	-	1-3/4"	.30	NEW	STACKING MULTISLIDE DOORS
208	MASTER BATH	3'-6"	6'-8"	L	-	-	1-3/4"	-	NEW	BARN DOOR
209	NEW CLOSET	2'-6"	6'-8"	J	-	-	1-3/4"	-	NEW	POCKET DOOR
210	MASTER BATH WC	2'-2"	6'-8"	J	-	-	1-3/4"	-	ENLARGED	POCKET DOOR
211	BATH-3	2'-6"	6'-8"	A	-	-	1-3/4"	-	EXISTING	
212	LAUNDRY	2'-8"	6'-8"	A	-	-	1-3/4"	-	EXISTING	
213	BEDROOM-2	2'-6"	6'-8"	A	-	-	1-3/4"	-	EXISTING	
214	BEDROOM-2 CLOSET	5'-0"	6'-8"	N	-	-	1-3/4"	-	EXISTING	BIFOLD DOORS
215	BEDROOM-2 CLOSET	5'-0"	6'-8"	N	-	-	1-3/4"	-	EXISTING	BIFOLD DOORS
216	BEDROOM-3	2'-6"	6'-8"	A	-	-	1-3/4"	-	EXISTING	
217	HALL CLOSET	2'-4 3/4"	6'-8"	O	-	-	1-3/4"	-	EXISTING	BIFOLD DOOR
218	BEDROOM-3 CLOSET	6'-0"	6'-8"	N	-	-	1-3/4"	-	EXISTING	BIFOLD DOORS

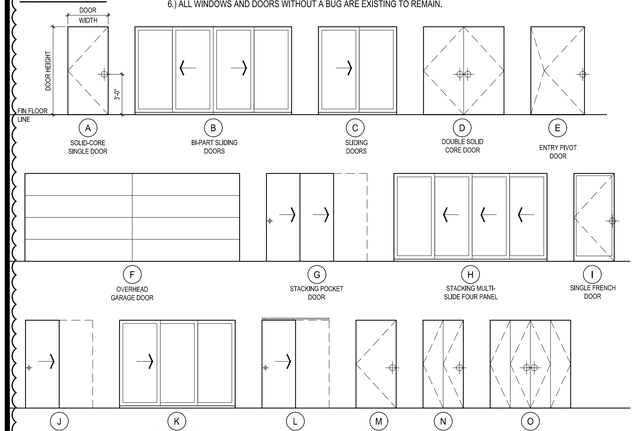
ABBREVIATIONS:

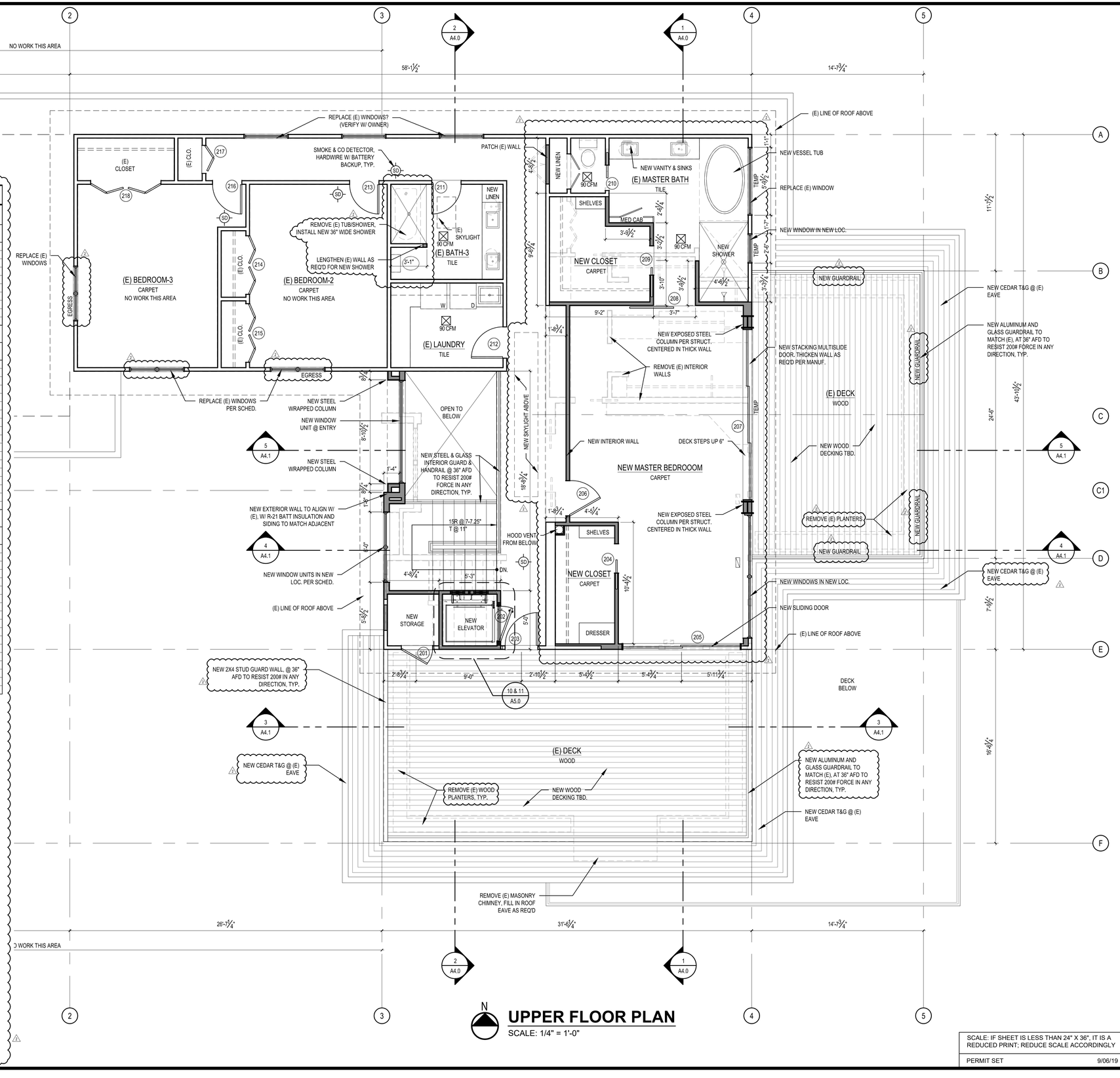
ALUM	ALUMINUM
MC	METAL CLAD
PRE-FIN	PRE-FINISHED
PNT	PAINTED
SCW	SOLID CORE WOOD
WD	WOOD

SCHEDULE NOTES:

1.) CONTRACTOR TO VERIFY ALL GLAZING SIZING, AND DOOR DIMENSIONS IN FIELD PRIOR TO ROUGH FRAMING & ORDERING OF GLAZING/WINDOW/DOOR MATERIALS. REVIEW SIZES AND ANY DISCREPANCIES W/ ARCHITECT.
2.) ALL GLAZING TO BE "LOW E", INSULATED GLASS UNLESS NOTED OTHERWISE.
3.) GLAZING INDOORS AND/OR WITHIN 24" OF A DOOR TO BE TEMPERED. SEE EXTERIOR ELEVATION FOR TEMP. GLASS LOCATIONS.
5.) 2015 WSEC & VIAQ RESIDENTIAL PRESCRIPTIVE OPTION 3 ADOPTED. GLAZING AREA INDICATED UNLIMITED. SEE ENERGY NOTE AT A1.0 SHEET FOR DETAILS.
6.) ALL WINDOWS AND DOORS WITHOUT A BUG ARE EXISTING TO REMAIN.

DOOR TYPES:





UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" X 36", IT IS A REDUCED PRINT; REDUCE SCALE ACCORDINGLY

PERMIT SET 9/06/19

STURMAN ARCHITECTS

TEL (425) 451-7003

9 103rd Avenue NE
Suite 203
Bellevue, WA 98004

5562 REGISTERED ARCHITECT
BRADLEY J. STURMAN
STATE OF WASHINGTON

www.sturmanarchitects.com

BAYLEY RESIDENCE
PERMIT SET
6060 E. MERCER WAY
MERCER ISLAND, WA 98040

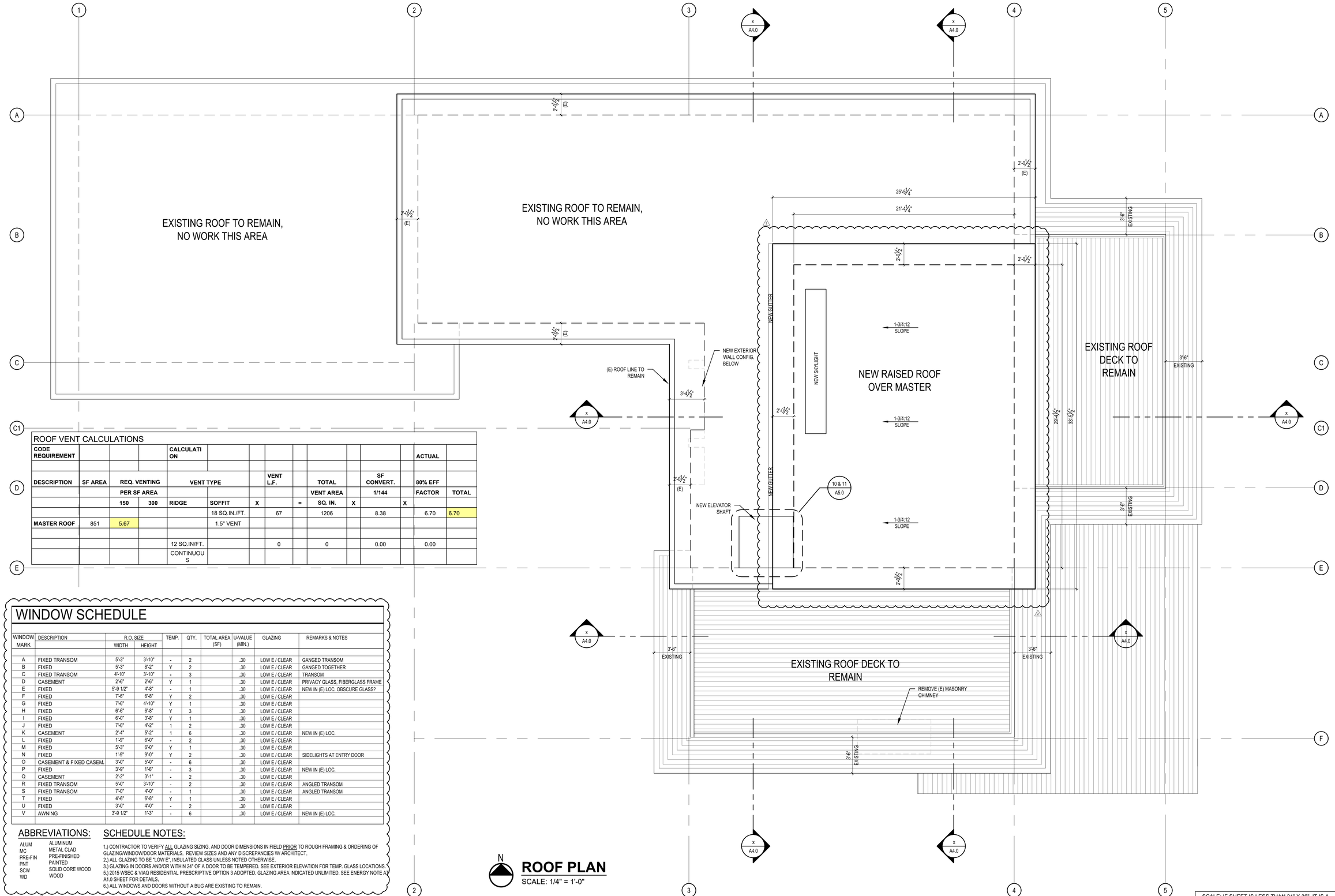
PHASE 2
UPPER FLOOR PLAN
DOOR SCHEDULE

REVISIONS:
2019-9-21 DESIGN REVISIONS
2019-9-6 DESIGN REVISIONS

DRAWN BY: KE
CHECKED BY: BJS

SHEET **A2.2**

PLOT DATE: 9/6/2019



ROOF VENT CALCULATIONS

CODE REQUIREMENT				CALCULATION									ACTUAL	
DESCRIPTION	SF AREA	REQ. VENTING PER SF AREA		VENT TYPE			VENT L.F.		TOTAL VENT AREA		SF CONVERT. 1/144		80% EFF FACTOR	TOTAL
		150	300	RIDGE	SOFFIT	X		=	SQ. IN.	X		X		
					18 SQ.IN./FT.		67		1206		8.38		6.70	6.70
MASTER ROOF	851	5.67			1.5" VENT									
				12 SQ.IN/FT.			0		0		0.00		0.00	
				CONTINUOUS										

WINDOW SCHEDULE

WINDOW MARK	DESCRIPTION	R.O. SIZE WIDTH	R.O. SIZE HEIGHT	TEMP.	QTY.	TOTAL AREA (SF)	U-VALUE (MIN.)	GLAZING	REMARKS & NOTES
A	FIXED TRANSOM	5'-3"	3'-10"	-	2		.30	LOW E / CLEAR	GANGED TRANSOM
B	FIXED	5'-3"	8'-2"	Y	2		.30	LOW E / CLEAR	GANGED TOGETHER
C	FIXED TRANSOM	4'-10"	3'-10"	-	3		.30	LOW E / CLEAR	TRANSOM
D	CASEMENT	2'-6"	2'-6"	Y	1		.30	LOW E / CLEAR	PRIVACY GLASS, FIBERGLASS FRAME
E	FIXED	5'-9 1/2"	4'-8"	-	1		.30	LOW E / CLEAR	NEW IN (E) LOC. OBSCURE GLASS?
F	FIXED	7'-6"	6'-8"	Y	2		.30	LOW E / CLEAR	
G	FIXED	7'-6"	4'-10"	Y	1		.30	LOW E / CLEAR	
H	FIXED	6'-6"	6'-8"	Y	3		.30	LOW E / CLEAR	
I	FIXED	6'-0"	3'-8"	Y	1		.30	LOW E / CLEAR	
J	FIXED	7'-6"	4'-2"	1	2		.30	LOW E / CLEAR	
K	CASEMENT	2'-4"	5'-2"	1	6		.30	LOW E / CLEAR	NEW IN (E) LOC.
L	FIXED	1'-9"	6'-0"	-	2		.30	LOW E / CLEAR	
M	FIXED	5'-3"	6'-0"	Y	1		.30	LOW E / CLEAR	
N	FIXED	1'-9"	9'-0"	Y	2		.30	LOW E / CLEAR	SIDELIGHTS AT ENTRY DOOR
O	CASEMENT & FIXED CASEM.	3'-0"	5'-0"	-	6		.30	LOW E / CLEAR	
P	FIXED	3'-9"	1'-6"	-	3		.30	LOW E / CLEAR	NEW IN (E) LOC.
Q	CASEMENT	2'-2"	3'-1"	-	2		.30	LOW E / CLEAR	
R	FIXED TRANSOM	5'-0"	3'-10"	-	2		.30	LOW E / CLEAR	ANGLED TRANSOM
S	FIXED TRANSOM	7'-0"	4'-0"	-	1		.30	LOW E / CLEAR	ANGLED TRANSOM
T	FIXED	4'-6"	6'-8"	Y	1		.30	LOW E / CLEAR	
U	FIXED	3'-0"	4'-0"	-	2		.30	LOW E / CLEAR	
V	AWNING	3'-9 1/2"	1'-3"	-	6		.30	LOW E / CLEAR	NEW IN (E) LOC.

ABBREVIATIONS:

ALUM	ALUMINUM
MC	METAL CLAD
PRE-FIN	PRE-FINISHED
PNT	PAINTED
SCW	SOLID CORE WOOD
WD	WOOD

SCHEDULE NOTES:

1.) CONTRACTOR TO VERIFY ALL GLAZING SIZING, AND DOOR DIMENSIONS IN FIELD PRIOR TO ROUGH FRAMING & ORDERING OF GLAZING/WINDOW/DOOR MATERIALS. REVIEW SIZES AND ANY DISCREPANCIES W/ ARCHITECT.
2.) ALL GLAZING TO BE "LOW E", INSULATED GLASS UNLESS NOTED OTHERWISE.
3.) GLAZING IN DOORS AND/OR WITHIN 24" OF A DOOR TO BE TEMPERED, SEE EXTERIOR ELEVATION FOR TEMP. GLASS LOCATIONS.
5.) 2015 WSEC & VIAQ RESIDENTIAL PRESCRIPTIVE OPTION 3 ADOPTED. GLAZING AREA INDICATED UNLIMITED. SEE ENERGY NOTE A7 A1.0 SHEET FOR DETAILS.
6.) ALL WINDOWS AND DOORS WITHOUT A BUG ARE EXISTING TO REMAIN.

N

ROOF PLAN

SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" X 36", IT IS A REDUCED PRINT; REDUCE SCALE ACCORDINGLY

PERMIT SET 9/06/19

STURMAN ARCHITECTS
TEL (425) 451-7003
9 103rd Avenue NE
Suite 203
Bellevue, WA 98004

5562 REGISTERED ARCHITECT
BRADLEY J. STURMAN
STATE OF WASHINGTON

BAYLEY RESIDENCE
PERMIT SET
6060 E. MERCER WAY
MERCER ISLAND, WA 98040

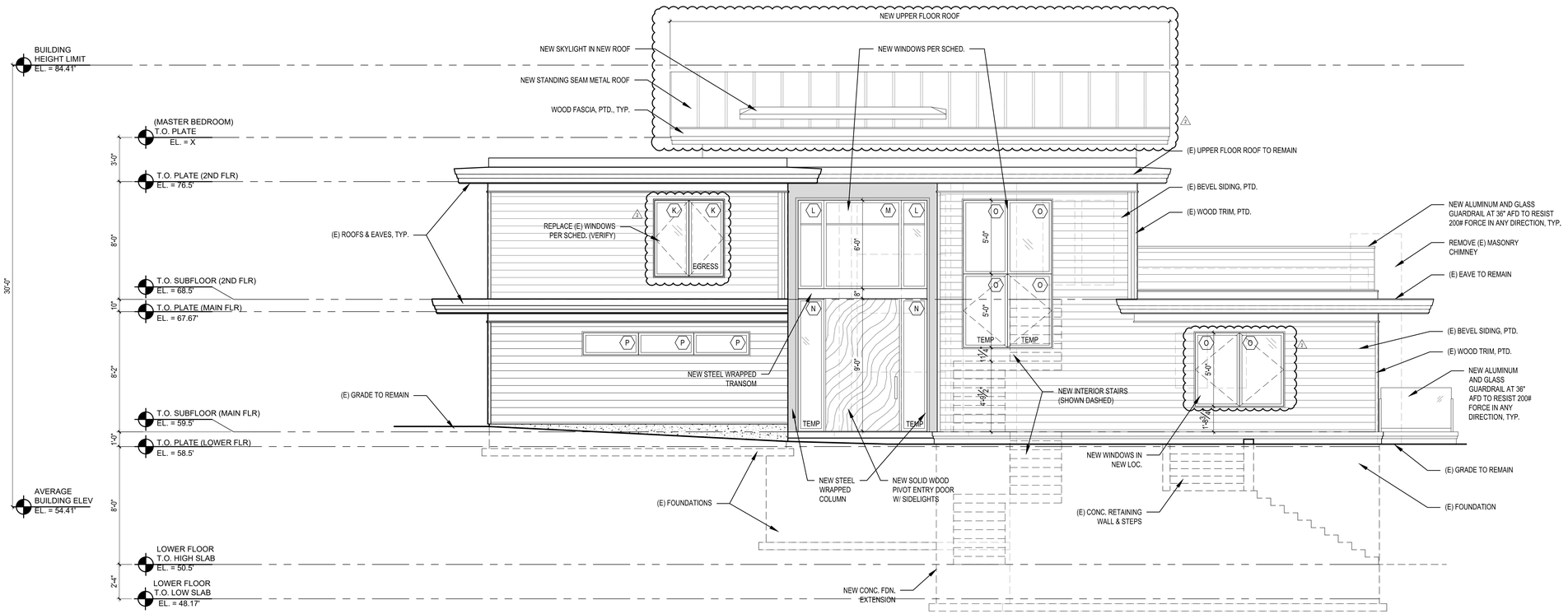
PHASE 2
ROOF PLAN
WINDOW SCHEDULE

REVISIONS:
2019-8-21 DESIGN REVISIONS
2019-9-06 DESIGN REVISIONS

DRAWN BY: KE
CHECKED BY: BJS

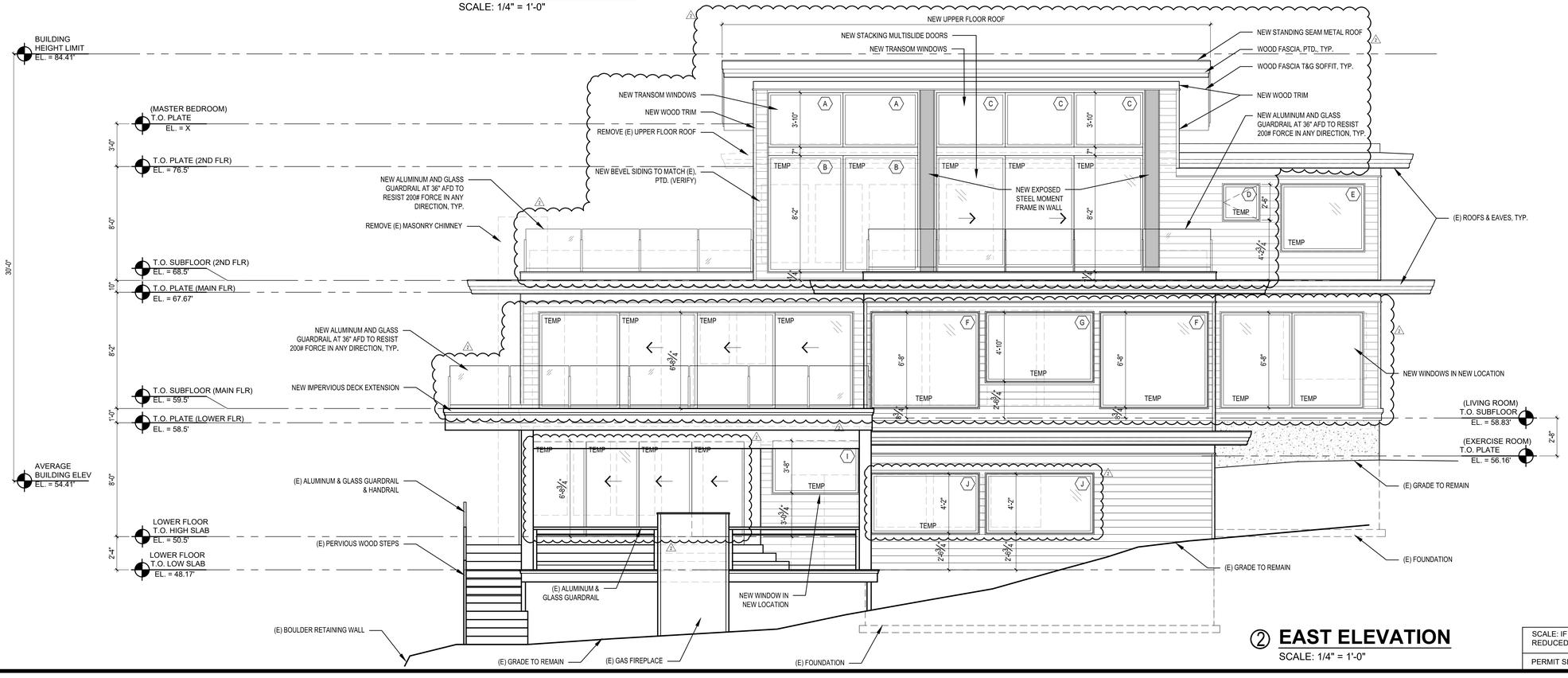
SHEET
A2.3

PLOT DATE: 9/6/2019



① WEST ELEVATION

SCALE: 1/4" = 1'-0"



② EAST ELEVATION

SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" X 36", IT IS A REDUCED PRINT; REDUCE SCALE ACCORDINGLY

PERMIT SET 9/06/19

STURMAN ARCHITECTS

TEL (425) 451-7003

9 103rd Avenue NE
Suite 203
Bellevue, WA 98004

5562 REGISTERED ARCHITECT
BRADLEY J. STURMAN
STATE OF WASHINGTON

BAYLEY RESIDENCE
PERMIT SET
6060 E. MERCER WAY
MERCER ISLAND, WA 98040

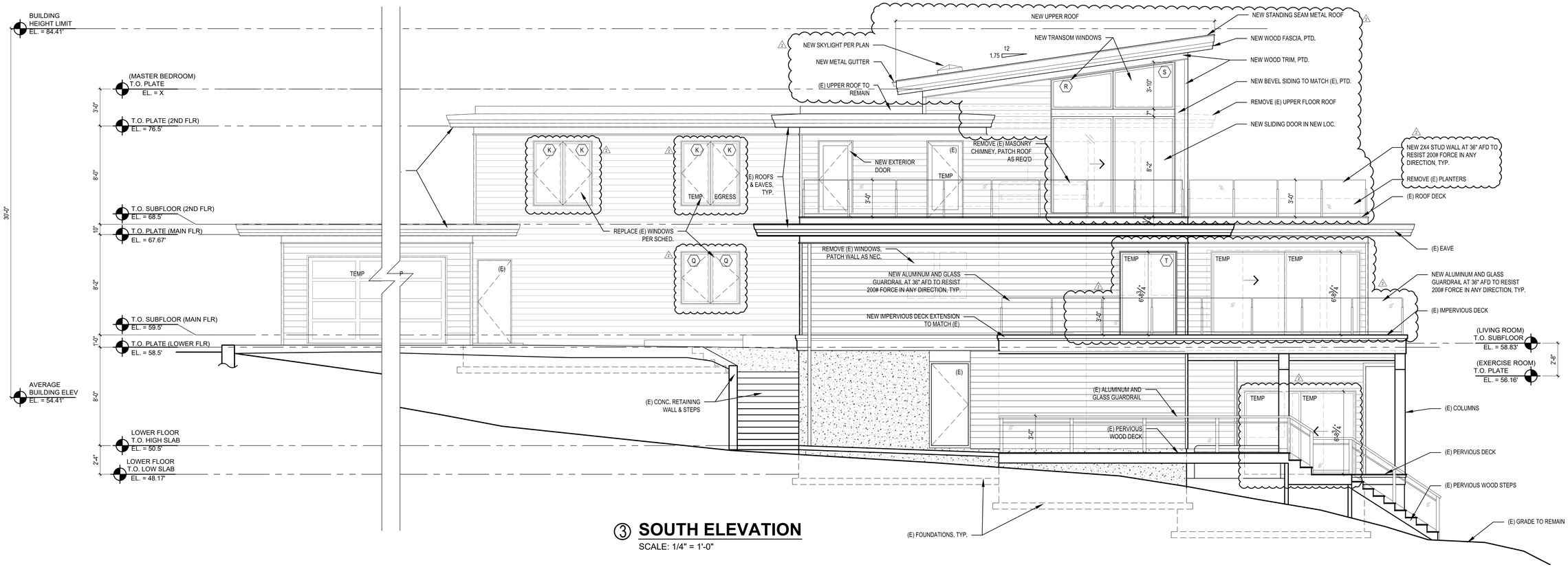
PHASE 2
EXTERIOR ELEVATIONS

REVISIONS:
2019-4-21 DESIGN REVISIONS
2019-4-6 DESIGN REVISIONS

DRAWN BY: KE
CHECKED BY: BJS

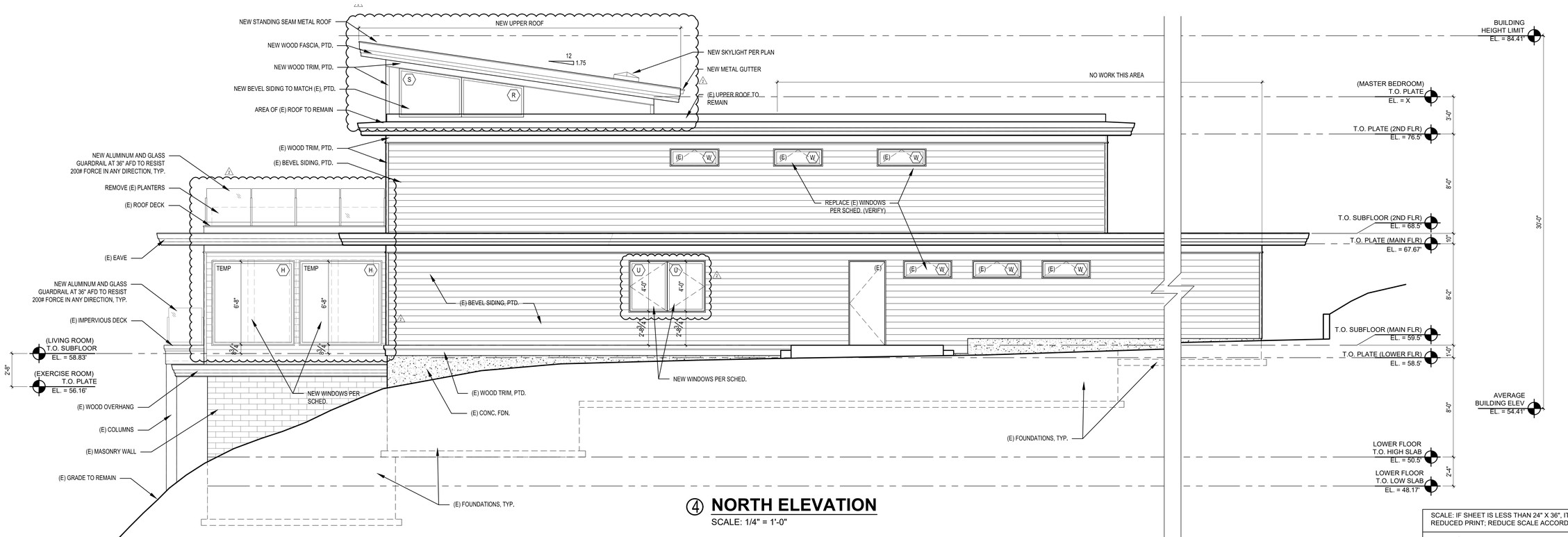
SHEET
A3.0

PLOT DATE: 9/6/2019



③ SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



④ NORTH ELEVATION

SCALE: 1/4" = 1'-0"

STURMAN ARCHITECTS
TEL (425) 451-7003
9 103rd Avenue NE
Suite 203
Bellevue, WA 98004

5562 REGISTERED ARCHITECT
BRADLEY J. STURMAN
STATE OF WASHINGTON

BAYLEY RESIDENCE
PERMIT SET
6060 E. MERCER WAY
MERCER ISLAND, WA 98040

PHASE 2 EXTERIOR ELEVATIONS

REVISIONS:
2019-9-21 DESIGN REVISIONS
2019-9-6 DESIGN REVISIONS

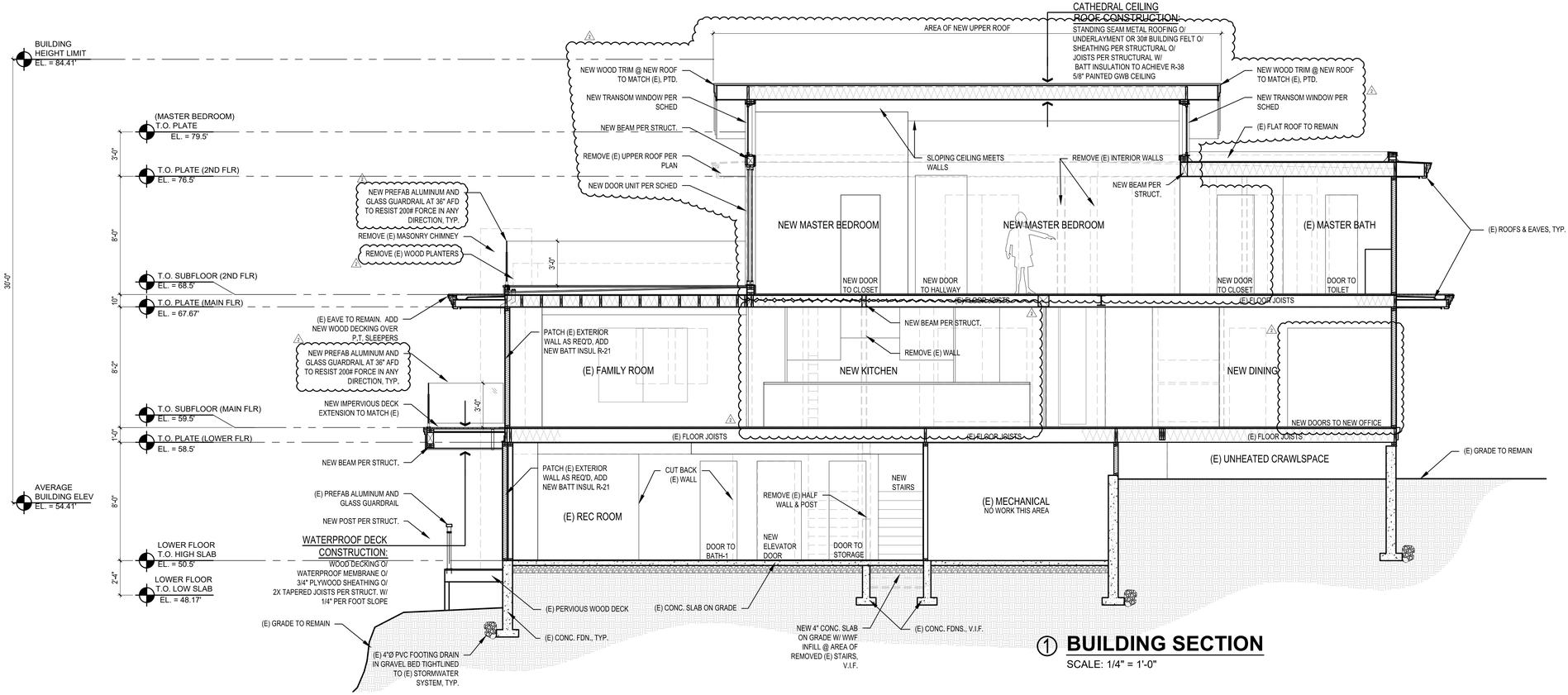
DRAWN BY: KE
CHECKED BY: BJS

SHEET A3.1

SCALE: IF SHEET IS LESS THAN 24" X 36", IT IS A REDUCED PRINT; REDUCE SCALE ACCORDINGLY

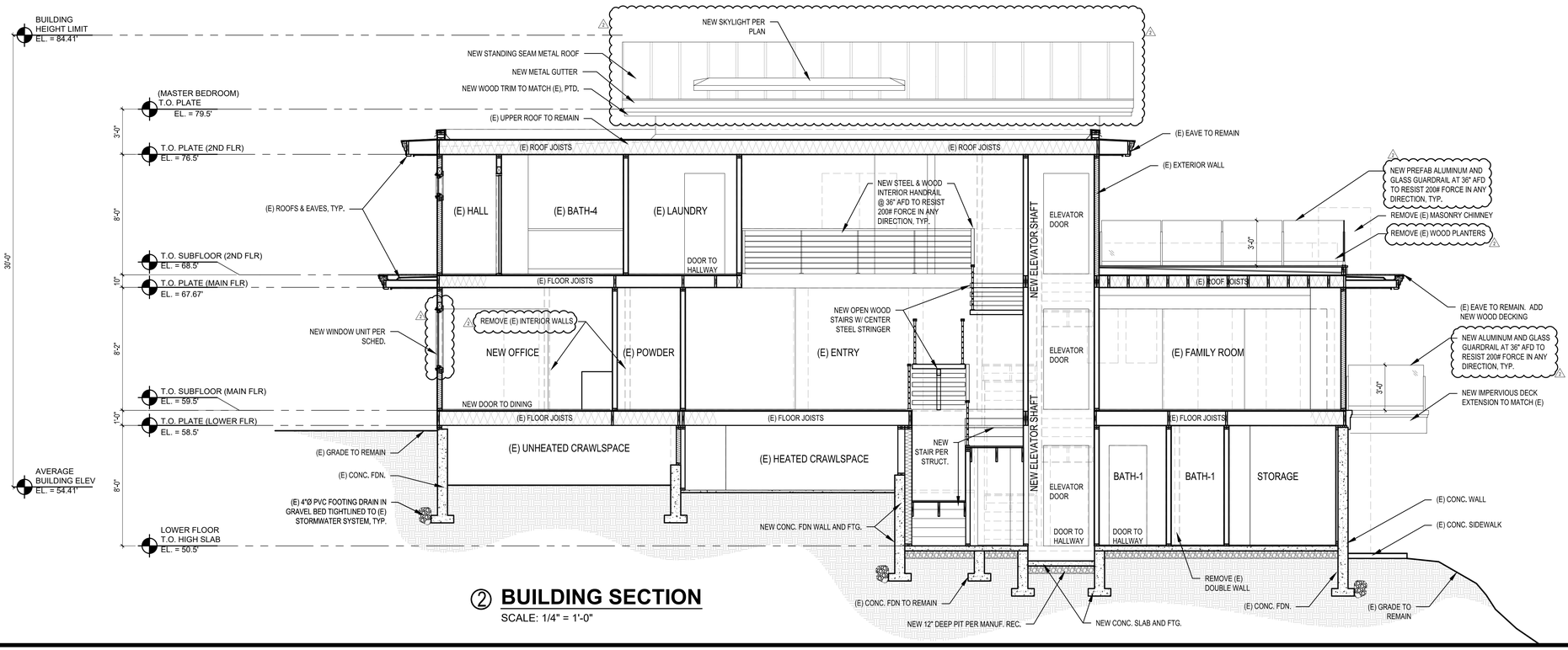
PERMIT SET 9/06/19

PLOT DATE: 9/6/2019



① BUILDING SECTION

SCALE: 1/4" = 1'-0"



② BUILDING SECTION

SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" X 36", IT IS A REDUCED PRINT; REDUCE SCALE ACCORDINGLY

PERMIT SET 9/06/19

STURMAN ARCHITECTS
TEL (425) 451-7003
9 103rd Avenue NE
Suite 203
Bellevue, WA 98004

5562 REGISTERED ARCHITECT
BRADLEY J. STURMAN
STATE OF WASHINGTON

BAYLEY RESIDENCE
PERMIT SET
6060 E. MERCER WAY
MERCER ISLAND, WA 98040

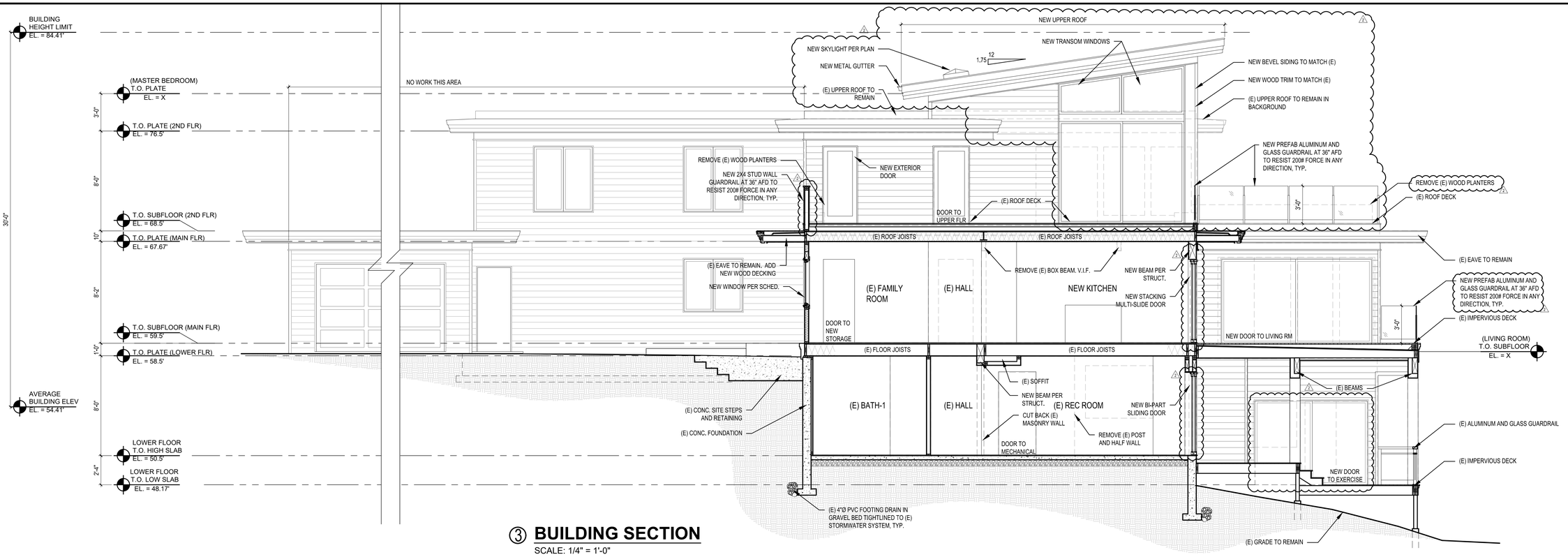
PHASE 2 BUILDING SECTIONS

REVISIONS:
2019-8-21 DESIGN REVISIONS
2019-9-6 DESIGN REVISIONS

DRAWN BY: KE
CHECKED BY: BJS

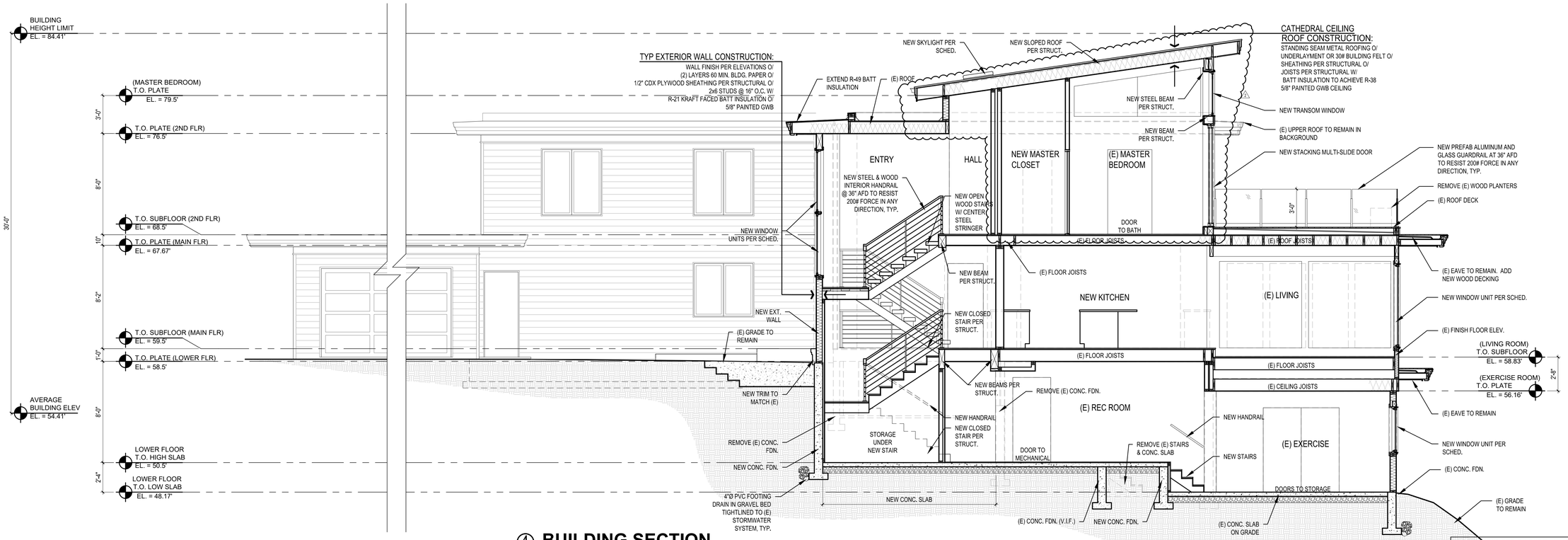
SHEET
A4.0

PLOT DATE: 9/6/2019



③ BUILDING SECTION

SCALE: 1/4" = 1'-0"



④ BUILDING SECTION

SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" X 36", IT IS A REDUCED PRINT; REDUCE SCALE ACCORDINGLY

PERMIT SET 9/06/19

STURMAN ARCHITECTS

TEL (425) 451-7003

9 103rd Avenue NE
Suite 203
Bellevue, WA 98004

5562 REGISTERED ARCHITECT
BRADLEY J. STURMAN
STATE OF WASHINGTON

BAYLEY RESIDENCE
PERMIT SET
6060 E. MERCER WAY
MERCER ISLAND, WA 98040

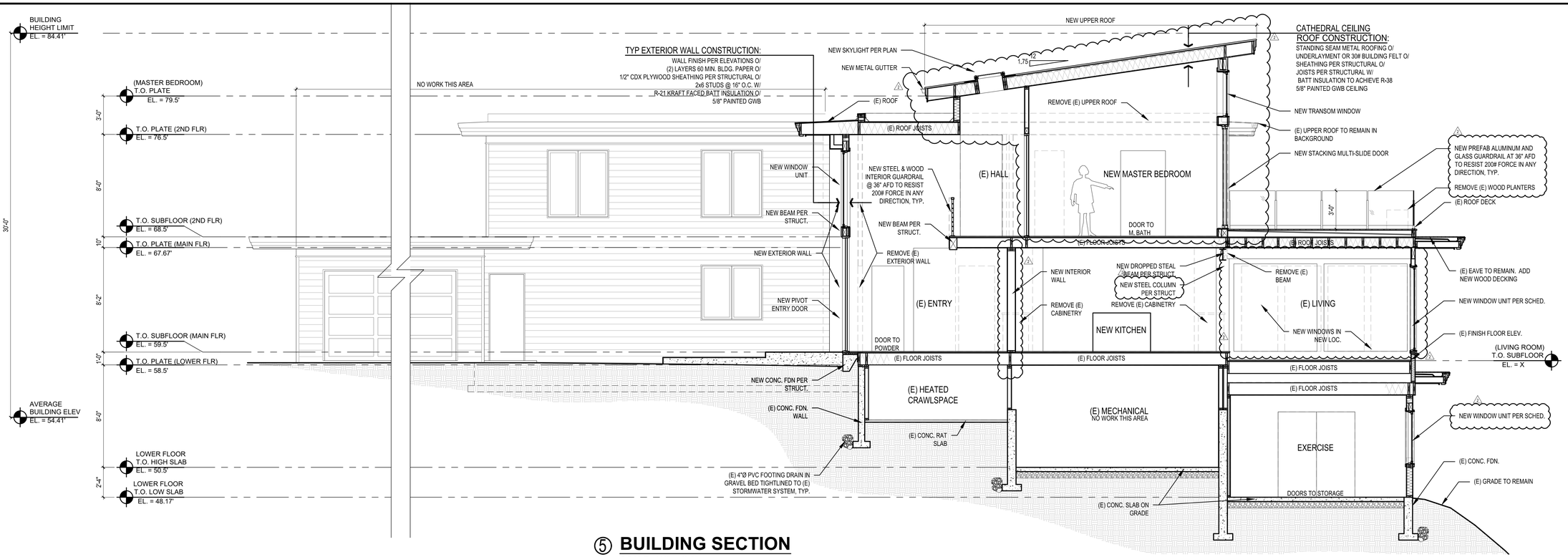
PHASE 2
BUILDING SECTIONS

REVISIONS:
1 2019-4-21 DESIGN REVISIONS
2 2019-6-6 DESIGN REVISIONS

DRAWN BY: KE
CHECKED BY: BJS

SHEET
A4.1

PLOT DATE: 9/6/2019



⑤ BUILDING SECTION

SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" X 36", IT IS A REDUCED PRINT; REDUCE SCALE ACCORDINGLY

PERMIT SET 9/06/19

STURMAN ARCHITECTS

TEL (425) 451-7003

9 103rd Avenue NE
Suite 203
Bellevue, WA 98004

5562 REGISTERED ARCHITECT
BRADLEY J. STURMAN
STATE OF WASHINGTON

BAYLEY RESIDENCE
PERMIT SET
6060 E. MERCER WAY
MERCER ISLAND, WA 98040

PHASE 2
BUILDING SECTIONS

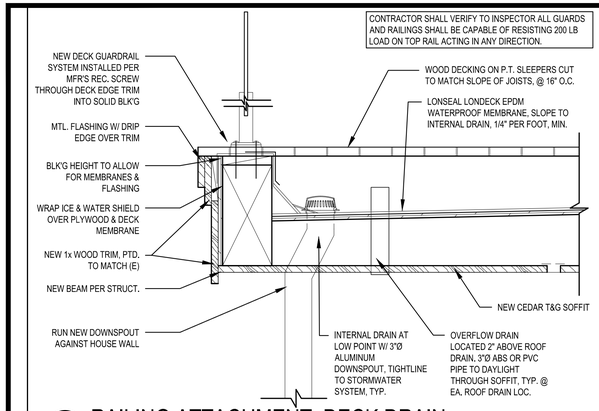
REVISIONS:
2019-4-21 DESIGN REVISIONS
2019-9-6 DESIGN REVISIONS

DRAWN BY: KE

CHECKED BY: BJS

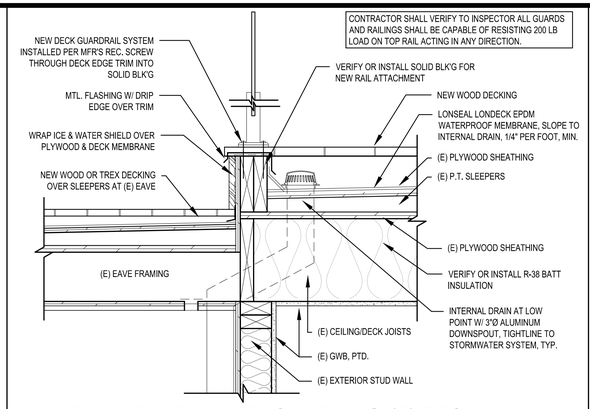
SHEET
A4.2

PLOT DATE: 9/6/2019



1 RAILING ATTACHMENT, DECK DRAIN

SCALE: 1-1/2" = 1'-0"

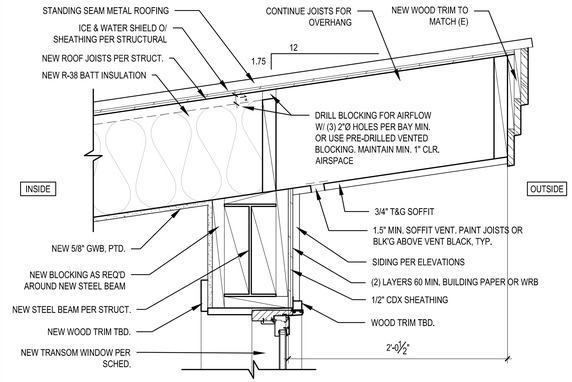


2 TYP. NEW RAIL ATTACHMENT @ (E) DECK

SCALE: 1-1/2" = 1'-0"

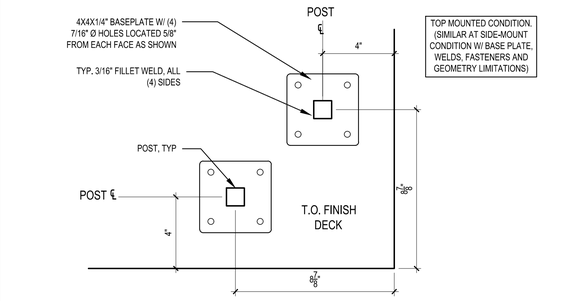
8 NOT USED

SCALE: 1-1/2" = 1'-0"



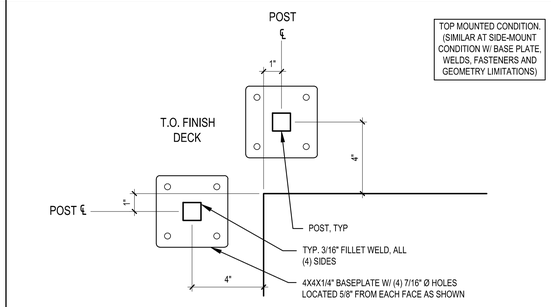
9 NEW EAVE CONDITION @ MOMENT FRAME

SCALE: 1-1/2" = 1'-0"



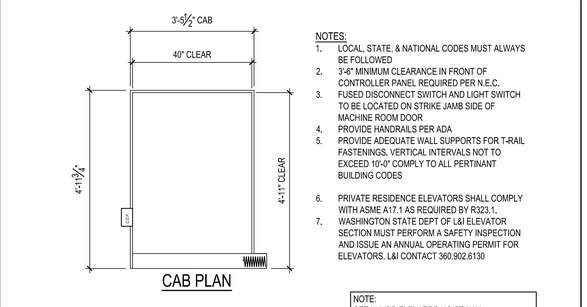
3 GUARDRAIL PLATE ATTACHMENT

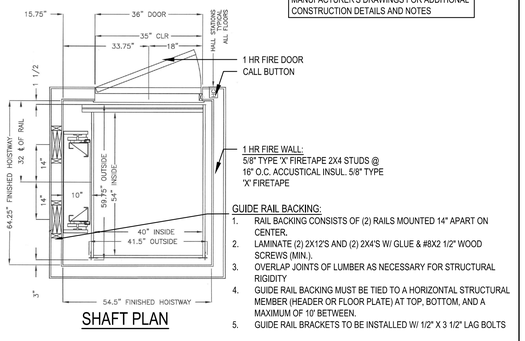
SCALE: 3" = 1'-0"



4 GUARDRAIL PLATE ATTACHMENT

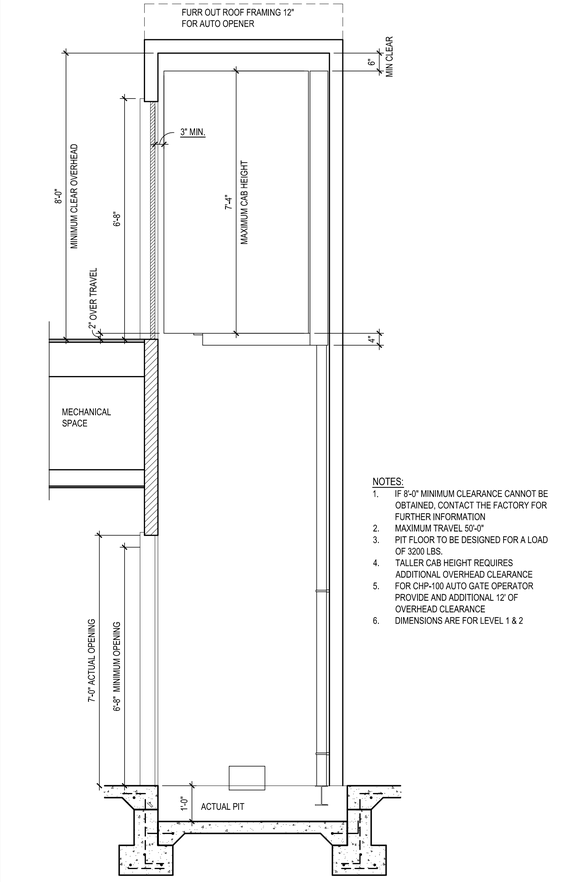
SCALE: 3" = 1'-0" SIM. AT SIDE-MOUNTED





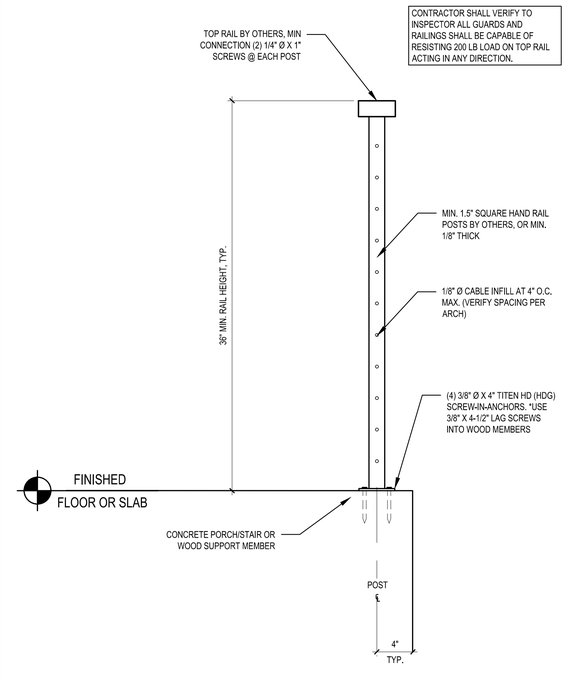
10 ELEVATOR PLAN

SCALE: 1/2" = 1'-0"



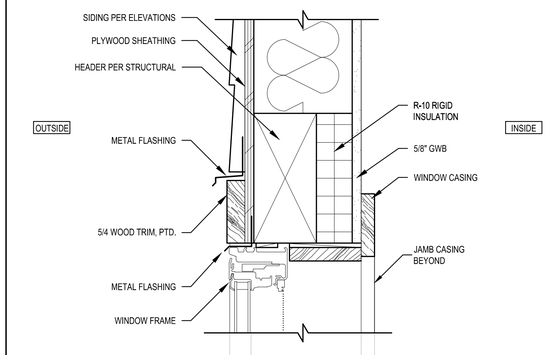
11 ELEVATOR SECTION

SCALE: 1/2" = 1'-0"



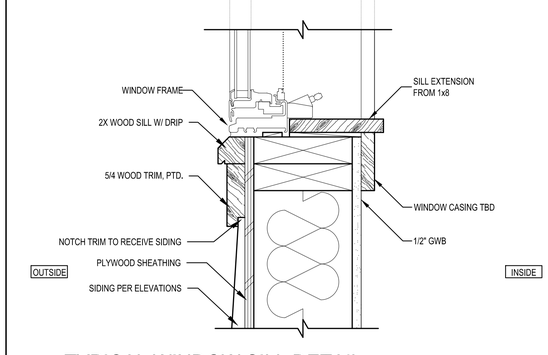
5 RAILING ATTACHMENT - TOP-MOUNTED

SCALE: 1-1/2" = 1'-0"



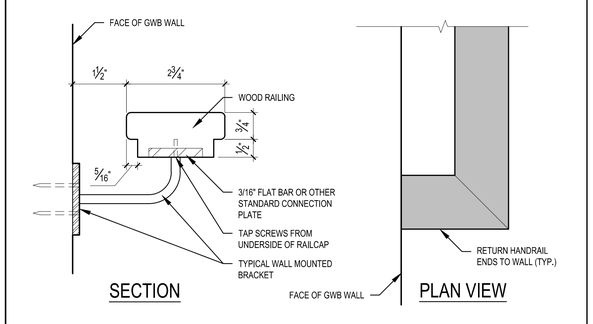
6 TYPICAL WINDOW HEAD DETAIL

SCALE: 3" = 1'-0" SIM. AT WINDOW JAMB



7 TYPICAL WINDOW SILL DETAIL

SCALE: 3" = 1'-0"



12 HANDRAIL DETAIL

SCALE: 6" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" X 36", IT IS A REDUCED PRINT; REDUCE SCALE ACCORDINGLY

PERMIT SET 9/06/19

STURMAN ARCHITECTS
TEL (425) 451-7003
9 103rd Avenue NE
Suite 203
Bellevue, WA 98004

5562 REGISTERED ARCHITECT
BRADLEY J. STURMAN
STATE OF WASHINGTON

BAYLEY RESIDENCE
PERMIT SET
6060 E. MERCER WAY
MERCER ISLAND, WA 98040

PHASE 2 EXTERIOR DETAILS

REVISIONS:
2019-9-21 DESIGN REVISIONS
2019-9-6 DESIGN REVISIONS

DRAWN BY: KE
CHECKED BY: BJS

SHEET A5.0

PLOT DATE: 9/6/2019

THE BAYLEY RESIDENCE REMODEL

S190326-2

PROJECT INFORMATION

CLIENT
RON & JOAN BAYLEY
6060 E MERCER WAY
MERCER ISLAND, WA 98040

PROJECT ADDRESS
6060 E MERCER WAY
MERCER ISLAND, WA 98040

ARCHITECT
STURMAN ARCHITECTS
9 103RD AVENUE NE SUITE 203
BELLEVUE, WA 98004
PHONE: (425) 451- 7003
CONTACT: BRAD STURMAN

STRUCTURAL ENGINEER
L120 ENGINEERING & DESIGN
16329 118TH LN NE
BOTHELL, WA 98011
PHONE: (206) 790-9502
CONTACT: MANS THURFJELL, PE

CODES

ENGINEERED PER:
2015 (SRC) SEATTLE RESIDENTIAL CODE
2015 (SBC) SEATTLE BUILDING CODE

SHEET INDEX

MANS R. THURFJELL
STATE OF WASHINGTON
PROFESSIONAL ENGINEER

LONGITUDE ONE TWENTY°
ENGINEERING & DESIGN

REVISIONS

△	DESCRIPTION	DATE	BY
-	CLIENT REVISIONS - V2 8-20-2019 (PHASE 1)		
	CLIENT REVISIONS - P2 9-6-2019 (PHASE 2)		

PROJECT NAME
THE BAYLEY RESIDENCE REMODEL

PROJECT NUMBER
S190326-2

DRAWN BY - MR

CHECKED BY - MRT

SHEET DATE - 08/30/2019

SCALE
24X36 SHEET:1/4"=1'-0"

DESCRIPTION
COVER SHEET
PHASE 2 REVISIONS
SHEET S-0

GENERAL STRUCTURAL NOTES

DESIGN CRITERIA

CODE: 2015 SBC/SRC & AMENDMENTS AS ADOPTED BY THE REVIEWING AGENCY/COUNTY.
ROOF .....25 PSF SNOW (GROUND)
FLOORS
RESIDENTIAL.....40 PSF
BALCONY/DECK.....60 PSF
BASIC WIND SPEED .....110 MPH, EXPOSURE B
SEISMIC
MAPPED SPECTRAL ACCELERATION, Ss.....1.446
MAPPED SPECTRAL ACCELERATION, S1.....0.554
SOIL SITE CLASS.....D

GENERAL CONDITIONS

1. THE CONTRACTOR SHALL EXAMINE THE STRUCTURAL DRAWINGS AND SHALL NOTIFY THE STRUCTURAL ENGINEER OF ANY DISCREPANCIES HE MAY FIND BEFORE PROCEEDING WITH THE WORK.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE ARCHITECT/ENGINEER SHALL IMMEDIATELY BE NOTIFIED IN WRITING OF ANY DISCREPANCIES.
3. ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE STRUCTURAL ENGINEER BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.
4. IN CASE OF CONFLICT, NOTES AND DETAILS OF THESE STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE OVER THE "GENERAL NOTES" AND/OR "STANDARD DETAILS".
5. IF A SPECIFIC DETAIL IS NOT SHOWN FOR ANY PART OF THE WORK, THE CONSTRUCTION SHALL BE THE SAME AS FOR SIMILAR WORK.
6. WORKING DIMENSIONS SHALL NOT BE SCALED FROM PLANS, SECTIONS, OR DETAILS ON THESE DRAWINGS.
7. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT AND THE STRUCTURAL ENGINEER OF ANY CONDITION WHICH IN HIS OPINION MIGHT ENDANGER THE STABILITY OF THE STRUCTURE OR CAUSE DISTRESS TO THE STRUCTURE.
8. THE CONTRACTOR SHALL SUPERVISE AND DIRECT HIS WORK AND HE SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. PROVIDE ADEQUATE SHORING AND BRACING OF ALL STRUCTURAL MEMBERS DURING CONSTRUCTION.
9. ALL WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE, AND ALL OTHER REGULATING AGENCIES EXERCISING AUTHORITY OVER ANY PORTION OF THE WORK.
10. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE THE NOTES, DRAWINGS, AND/OR SPECIFICATIONS DIFFER, THE MORE STRINGENT REQUIREMENT SHALL APPLY.
11. REFER TO THE ARCHITECTURAL DRAWINGS FOR INFORMATION NOT COVERED BY THESE GENERAL NOTES OR THE STRUCTURAL DRAWINGS.
12. NOTIFY ENGINEER OF ALL FIELD CHANGES PRIOR TO INSTALLATION.
13. DISCREPANCIES FOUND BETWEEN STRUCTURAL DRAWINGS AND OTHER DOCUMENTS ARE TO BE NOTED IN WRITING TO THE ENGINEER PRIOR TO CONSTRUCTION.
14. ALL CONSTRUCTION SHALL BE DONE WITH MATERIALS, METHODS, AND WORKMANSHIP ACCEPTED AS GOOD PRACTICE BY THE CONSTRUCTION INDUSTRY IN CONFORMANCE TO THE PROVISIONS OF THE "INTERNATIONAL BUILDING CODE" (IBC), AND STANDARDS REFERENCED THEREIN.

FOUNDATION

1. FOUNDATION DESIGN PARAMETERS ASSUMED PER iRC/IBC VALUES:
FOOTING BEARING PRESSURE: 1500 PSF
LATERAL EARTH PRESSURE:
ACTIVE: 30 PCF (FREE) 40 PCF (RESTRAINED)
PASSIVE: 350 PCF
COEFFICIENT OF BASE FRICTION: 0.35
2. SUBGRADE PREPARATION, DRAINAGE PROVISIONS, AND OTHER RELEVANT SOIL CONSIDERATIONS ARE TO BE IN ACCORDANCE WITH THE JURISDICTIONAL REQUIREMENTS.
3. ALL FOUNDATIONS ARE TO BEAR ON COMPETENT NATIVE SOILS OR STRUCTURAL FILL. STRUCTURAL FILL IS TO BE COMPACTED TO 95% DENSITY PER ASTM D-1557.

CONCRETE

1. REFERENCE STANDARDS: ACI-301, ACI-318, IBC.
MINIMUM CONCRETE STRENGTH (28 DAYS):
FOOTINGS AND STEM WALLS.....3,000 PSI - 5 SACK MIX
BASEMENT FOUNDATION RETAINING WALLS.....3,000 PSI - 5 SACK MIX
SLAB-ON-GRADE.....2,500 PSI - 5 SACK MIX
SLAB-ON-GRADE.....EXPOSED WEATHERING SURFACES.....3,000 PSI
AIR-ENTRAINMENT 2.5% TO 5.5% FOR EXPOSED CONCRETE.
2. MIXING: COMPLY WITH ACI-301. DO NOT EXCEED THE AMOUNT OF WATER SPECIFIED IN THE APPROVED MIX. PROPORTIONS OF AGGREGATE TO CEMENT SHALL BE SUCH AS TO PRODUCE A DENSE WORKABLE MIX WHICH CAN BE PLACED WITHOUT SEGREGATION OR EXCESS FREE SURFACE WATER
3. PLACING: COMPLY WITH ACI-301. PROVIDE A 3/4 INCH CHAMFER ALL EXPOSED CONCRETE EDGES, UNLESS INDICATED OTHERWISE ON ARCHITECTURAL DRAWINGS.
4. SLUMP: 4" PLUS OR MINUS ONE INCH. DO NOT ADD WATER TO MIX TO INCREASE SLUMP. GREATER SLUMP, ACCELERATED SET, OR HIGH EARLY STRENGTH MAY BE ACHIEVED BY USING APPROVED ADMIXTURES.
5. CURING: COMPLY WITH ACI-301. KEEP CONCRETE MOIST FOR SEVEN DAYS MINIMUM.
6. JOINTING: PROVIDE ADEQUATE JOINTING TO MINIMIZE EFFECTS OF VOLUME CHANGE. JOINTS SHOWN MAY BE ADJUSTED AT CONTRACTOR'S OPTION, WITH PRIOR APPROVAL FROM ENGINEER.
7. WEATHER EXTREMES: COMPLY WITH ACI 305R FOR HOT WEATHER. COMPLY WITH ACI 306R FOR COLD WEATHER.
8. WATER/CEMENT RATIO SHALL NOT EXCEED 0.50 (BY WEIGHT), TYPICAL.

REINFORCING STEEL

1. REFERENCE STANDARDS: ACI "DETAILING MANUAL" (SP-66); CRSI MANUAL OF STANDARD PRACTICE (MSP-1)
2. MATERIALS:
REINFORCING STEEL: ASTM A615, GRADE 60
3. SPLICES:
LAP CONTINUOUS REINFORCING BARS 48 BAR DIAMETERS, UNLESS OTHERWISE NOTED. PROVIDE CORNER BARS FOR ALL HORIZONTAL REINFORCEMENT.
4. COVER:
FOOTINGS .....3 INCHES
SLABS.....2 INCHES
5. FORMED SURFACES:
WEATHER FACE ...1-1/2 INCHES, #5 BARS AND SMALLER 2 INCHES, # 6 BARS AND LARGER
INTERIOR FACE ...3/4 INCH FOR SLABS AND WALLS 1-1/2 INCHES FOR BEAMS AND COLUMNS

STRUCTURAL AND MISC. STEEL

1. REFERENCE STANDARDS: STRUCTURAL STEEL SHA;; CONFORM TO ALL REQUIREMENTS OF THE FOLLOWING DOCUMENTS, EXCEPT AS MODIFIED BELOW:
AISC "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS"
AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES"
AWS D1.1 "STRUCTURAL WELDING CODE - STEEL"
2. MATERIALS:
BOLTS - ASTM A325, UNLESS OTHERWISE NOTED
WF - ASTM A992 (Fy = 50,000 PSI)
HSS ROUND COLUMNS - ASTM A500 Gr. B (Fy = 42,000 PSI)
HSS RECTANGULAR COLUMNS - ASTM A500 Gr. B (Fy = 46,000 PSI)
ALL OTHER STEEL - ASTM A36 (Fy = 36,000 PSI)

STRUCTURAL STEEL WELDING

1. CONFORM TO THE AWS CODES D1.1 AND D1.3., AND USE ONLY CERTIFIED WELDERS. WELDS NOT SPECIFIED ARE TO BE 1/4" CONTINUOUS FILLET MINIMUM. USE DRY E70 ELECTRODES.

DIMENSIONAL LUMBER

1. MEET REQUIREMENTS OF PS 20-70 AND NATIONAL GRADING RULES FOR SOFTWOOD DIMENSIONAL LUMBER. BEAR STAMP OF WWPA.
2. MINIMUM DIMENSIONAL LUMBER GRADES TO BE:
WALL STUDS: 2x, HF STUD GRADE, 3x HF #2
WALL PLATES: 2x HF STANDARD GRADE
2x, 3x PRESSURE TREATED HF STANDARD GRADE AT FOUNDATION
JOISTS: 2x6 HF STUD GRADE
2x8 AND UP HF #2
BEAMS, HEADERS: 6x DF#2; 4x DF#2, WWPA GRADING.
POSTS: 4x, 6x, DF #2
LUMBER NOT NOTED TO BE HF #2.
3. PROVIDE STANDARD CUT WASHERS FOR NUTS BEARING AGAINST WOOD, AND 1/4"x3" HOT-DIPPED GALVANIZED SQUARE PLATE WASHERS FOR ALL ANCHOR BOLTS.
4. ALL SILLS OR PLATES RESTING ON CONCRETE OR MASONRY, WHICH IS IN CONTACT WITH OR RESTING ON FOUNDATIONS, SHALL BE PRESSURE TREATED HEM FIR OR BETTER. ALL BEARING WALL PLATES SHALL HAVE 5/8"Ø ANCHOR BOLTS PLACED A MAXIMUM 9" FROM THE END OF A PLATE AND SPACED AT INTERVALS SHOWN ON THE SHEARWALL SCHEDULE (MAXIMUM 4'-0" O.C. SPACING). ALL TREATED PRESSURE TREATED WOOD MEMBERS SHALL COMPLY WITH AWP4 U1 AND AWP4 M4 STANDARDS.
5. CAST-IN-PLACE ANCHOR BOLTS SHALL HAVE A MINIMUM 7" EMBEDMENT. ALTERNATE 5/8"Ø EXPANSION ANCHORS SHALL BE HILTI KWIK BOLT II ANCHORS EMBED 7", OR APPROVED ALTERNATE.
6. BOLTS IN WOOD BEAMS SHALL NOT BE LESS THAN 7 DIAMETERS FROM THE END AND 4 DIAMETERS FROM THE EDGE OF THE MEMBER.
7. NAILS: NAILING IN ACCORDANCE WITH IBC TABLE 2304.10.1. 16D NAILS MAY BE 16D SINKERS (0.148 x 3-1/4") UNLESS NOTED OTHERWISE.
8. PRESURE TREATED WOOD: ALL NAILS INTO PT WOOD SHALL BE HOT DIPPED GALVANIZED PER ASTM A153 OR STAINLESS STEEL. ALL METAL CONNECTORS IN CONTACT WITH PT WOOD SHALL BE HOT DIPPED GALVANIZED AND MEET ASTM A653 CLASS G185 (1.85 oz OF ZINC PER SQ FT MINIMUM) OR TYPE 304 / 316 STAINLESS STEEL. SIMPSON Z-MAX CONNECTORS MEET THIS REQUIREMENT. FASTENERS AND CONNECTORS USED TOGETHER SHALL BE OF THE SAME TYPE (E.G. HOT DIPPED NAILS WITH HOT DIPPED HANGERS)

MANUFACTURED TIMBER

PRODUCT	APPLICATION	WIDTHS
LSL RIMBOARD (1.3E)	RIMBOARD OR STAIR STRINGER	1 ¼"
TIMBERSTRAND LSL (1.3E)	HEADER, BEAM, OR COLUMN < 9" DEPTH	3 ½"
TIMBERSTRAND LSL (1.55E)	RIMBOARD, HEADER, OR < 9" DEPTH BEAM	1 ¾",3 ½"
TIMBERSTRAND LSL (1.3E)	WALL STUD 2X4 & 2X61	½"
(1.5E)	WALL STUD > 2X6	1 ½"
MICROLLAM LVL (1.9E)	HEADER, BEAM	1 ¾"
PARALLAM PSL (2.0E)	HEADER, BEAM	3 ½", 5 ¼", 7"
PARALLAM PSL (1.8E)	COLUMN	3 ½", 5 ¼", 7"

WOOD STRUCTURAL CONNECTIONS

1. ALL FRAMING ANCHORS, POST CAPS, BASES, HANGERS, STRAPS, ETC., SHALL BE AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY OR ENGINEER APPROVED EQUAL.

BRICK VENEER ANCHORAGE

1. D/A 2135 SEISMIC VENEER ANCHORS BY DUR-O-WAL OR APPROVED EQUAL AT WOOD STUD WALL.
2. D/A 5213 SEISMIC VENEER ANCHORS BY DUR-O-WAL OR APPROVED EQUAL AT CONCRETE WALL.
3. PLACE ANCHORS AT 16" O.C. VERTICAL AND 16" HORIZONTAL. PROVIDE #9 GA HORIZONTAL JOINT REINFORCING WIRE . ATTACH TO WOOD STUDS WITH #8 CORROSION RESISTANT SCREWS AND TO CONCRETE WITH 1/4"Ø EXPANSION ANCHORS.
4. AT ALL OPENINGS LARGER THAN 16" IN EITHER DIRECTION, ANCHORS TO BE SPACED WITHIN 12" OF THE OPENING AT ALL SIDES.
5. USE TYPE N MORTAR COMPLYING WITH ASTM C270

GLU-LAMINATED TIMBER

1. GLU-LAMINATED WOOD BEAMS, DOUGLAS FIR COAST REGION, KILN DRIED, AITC SPECIFICATION 24F-V4 FOR SIMPLE SPANS (TYPICAL), AND 24F-V8 FOR CANTILEVER-SPANS (WHERE SPECIFIED). PROVIDE AITC STAMP ON TIMBER AND SUBMIT CERTIFICATE TO ARCHITECT AND ENGINEER. MATERIALS MUST BE OBTAINED FROM AN AITC APPROVED FABRICATOR. ALL GLU-LAM BEAMS SHALL FIT SNUG AND TIGHT IN THEIR CONNECTIONS AND DEVELOP FULL BEARING AS INDICATED. NO SUBSTITUTION OF OTHER SPECIES. GLU-LAM ADHESIVE TO BE "WET- USE" TYPE. PROVIDE 2000 FT RADIUS CAMBER, U.N.O.
2. MANUFACTURER'S CERTIFICATE SHALL BE PRESENTED TO THE BUILDING INSPECTOR PRIOR TO INSTALLATION.

WOOD SHEATHING

1. ROOF SHEATHING: 7/16" MINIMUM THICKNESS APA RATED PRP-108 PERFORMANCE STANDARD, EDGE SEALED PANELS DESIGNED TO SPAN 24 INCHES EITHER PARALLEL OR PERPENDICULAR TO LONG AXIS OF PANEL WITH 35 PSF LIVE LOAD. LAY UP WITH MINIMUM 1/8" CLEAR BETWEEN PANELS TO ALLOW FOR EXPANSION. NAIL 6 INCHES ON CENTER ALONG EDGES, AND 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. USE 10D COMMON NAILS, U.N.O. PROVIDE EXP-1 RATING.
2. FLOOR SHEATHING: 3/4" NOMINAL APA RATED PANELS, PRP-108 PERFORMANCE STANDARD, NAILED AND GLUED. CONFORM TO IBC IDENTIFICATION INDEX 40/20 FOR SUPPORTS TO 20 INCHES ON CENTER. ADHESIVES ARE TO CONFORM TO APA SPECIFICATION AFG-01. PROVIDE T&G EDGES AT LONG PANEL EDGES. LAY UP WITH MINIMUM 1/8" CLEAR BETWEEN PANELS TO ALLOW FOR EXPANSION. NAIL 6 INCHES ON CENTER AT END SUPPORTS AND 10 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. USE 10D COMMON NAILS. PROVIDE EXP-1 RATING.
3. WOOD SHEARWALL SHEATHING: PLYWOOD OR OSB APA RATED PRP-108 PERFORMANCE STANDARD PER IBC STD 23-2 OR 23-3 TYPE C-C OR C-D. USE EXTERIOR ADHESIVES. USE 8d COMMON NAILS. PROVIDE EXP-1 RATING. ALL VERTICAL JOINTS OF PANEL SHEATHING SHALL OCCUR OVER STUDS. HORIZONTAL JOINTS SHALL OCCUR OVER BLOCKING EQUAL IN SIZE TO THE STUDDING. REFER TO SHEAR WALL SCHEDULE FOR PANEL THICKNESS.
4. NAILING SPECIFICATIONS: CONFORM TO IBC SECTION 2304.10 "CONNECTIONS AND FASTENERS." UNO ON PLANS, NAILING PER TABLE 2304.10.1, AND FOR ROOF/FLOOR DIAPHRAGMS AND SHEARWALLS SHALL BE PER DRAWINGS. NAILS SHALL BE DRIVEN FLUSH AND SHALL NOT FRACTURE THE SURFACE OF SHEATHING. ALTERNATE NAILS MAY BE USED BUT ARE SUBJECT TO REVIEW AND APPROVAL BY THE STRUCTURAL ENGINEER. SUBSTITUTION OF STAPLES FOR THE NAILING OF RATED SHEATHING IS SUBJECT TO REVIEW BY THE STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.

SHOP DRAWINGS AND SUBMITTALS

1. SUBMIT 2 SETS OF PRINTS AND 1 SET OF REPRODUCIBLES FOR REVIEW FOR:
A) REINFORCING STEEL C) GLU-LAMINATED BEAMS
B) MISCELLANEOUS STEEL D) PRE-MANUFACTURED WOOD TRUSSES
2. SUBMIT 3 COPIES FOR REVIEW PRIOR TO FABRICATION FOR:
A) CONCRETE DESIGN MIX
B) CONCRETE INSERTS
C) EPOXY ADHESIVES

INSPECTIONS

1. REFERENCE STANDARDS: IBC 110.
INSPECTIONS ARE TO BE PERFORMED BY THE BUILDING OFFICIAL. INSPECTIONS REQUIRED ARE AS FOLLOWS:
2. SOIL: VERIFY SUBGRADE IS DRY DENSE AND DOES NOT HAVE STANDING WATER PRIOR TO POURING FOOTINGS.
3. CONCRETE: INSPECTIONS REQUIRED ONLY FOR DESIGN MIXES SPECIFIED GREATER THAN 2500 PSI.
TAKE CONCRETE CYLINDERS AS REQUIRED. VERIFY SLUMP AND STRENGTH.
4. REINFORCING: VERIFY ALL REINFORCING IS PLACED IN ACCORDANCE WITH APPROVED PLANS. CHECK FOR REQUIRED COVER, SIZE AND GRADE.
5. WOOD: DIAPHRAGM NAILING, BLOCKING AND HOLD-DOWN CONNECTIONS.
6. STEEL: A. AISC 360 TABLE N5.4-1 AND AISC 341 TABLE J6-1 INSPECTION TASKS PRIOR TO WELDING
B. AISC 360 TABLE N5.4-2 AND AISC 341 TABLE J6-2 INSPECTION TASKS DURING WELDING
C. AISC 360 TABLE N5.4-3 AND AISC 341 TABLE J6-3 INSPECTION TASKS AFTER WELDING

ALTERNATES:

1. ALTERNATE ASSEMBLIES AND MATERIALS WILL BE CONSIDERED FOR REVIEW. ENGINEER MAY REQUEST PAYMENT FOR REVIEW; CONTRACTOR WILL BEAR BURDEN FOR ADDITIONAL PAYMENT AT NO ADDITIONAL COST TO OWNER.

SETTLEMENT SHRINKAGE:

1. DUE TO CROSS GRAIN WOOD SHRINKAGE, THIS BUILDING IS EXPECTED TO SETTLE APPROXIMATELY 3/8 INCH PER STORY. ALL PLUMBING AND MECHANICAL DUCTS SHALL BE DESIGNED WITH FLEXIBLE JOINTS OR OTHERS MEANS TO APPROPRIATELY ACCOMMODATE THIS NORMAL SETTLEMENT. ALL INTERIOR AND EXTERIOR SHEATHING AND FINISHES SHALL BE INSTALLED SUCH THAT NO DAMAGE WILL OCCUR. SHRINKAGE IS EXPECTED IN THE DEPTH OF THE FLOOR PLATES AND NOT IN THE LENGTH OF THE WALL STUDS.

JOBSITE SAFETY:

1. THE ENGINEER AND/OR ARCHITECT HAVE NOT BEEN RETAINED OR COMPENSATED TO PROVIDE DESIGN AND/OR CONSTRUCTION REVIEW SERVICES RELATED TO THE CONTRACTOR'S SAFETY PRECAUTIONS OR TO MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES FOR THE CONTRACTOR TO PERFORM HIS WORK. THE UNDERTAKING OF PERIODIC SITE VISITS BY THE ENGINEER AND/OR ARCHITECT SHALL NOT BE CONSTRUED AS SUPERVISION OF ACTUAL CONSTRUCTION NOR MAKE HIM RESPONSIBLE FOR PROVIDING A SAFE PLACE FOR THE PERFORMANCE OF WORK BY THE CONTRACTOR, SUBCONTRACTORS, SUPPLIERS OR THEIR EMPLOYEES, OR FOR ACCESS, VISITS, USE, WORK, TRAVEL, OR OCCUPANCY BY ANY PERSON.

ABBREVIATIONS

AB	ANCHOR BOLT
ABV	ABOVE
AFF	ABOVE FINISH FLOOR
ALT	ALTERNATE
ALUM	ALUMINUM
APPROX	APPROXIMATE
AYC	ALASKAN YELLOW CEDAR
BB	BOX BEAM
BF	BOTTOM FLUSH
BLDG	BUILDING
BLKG	BLOCKING
BM	BEAM
BOT	BOTTOM
BP	BOTTOM PLATE
BRG	BEARING
BTWN	BETWEEN
BSMT	BASEMENT
B/W	BOTTOM OF WALL
CANT	CANTILEVER
CJ	CONTROL JOINT
CLG.	CEILING
CLJ	CEILING JOIST
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONN	CONNECTION
CONST	CONSTRUCTION
CONT	CONTINUOUS
CTR	CENTER
DET	DETAIL
DF	DOUGLAS FIR (SOUTH)
DFL	DOUGLAS FIR LARCH
DIM	DIMENSION
DJ	DOUBLE JOIST
DIA	DIAMETER
DN	DOWN
DS	DOWN SPOUT
EA	EACH
EF	EACH FACE
EJ	EXPANSION JOINT
ELEV	ELEVATION
EN	EDGE NAILING (PANEL)
EOR	ENGINEER OF RECORD
EQ	EQUAL
ES	EACH SIDE
EW	EACH WAY
FB	FLUSH BEAM
FIN	FINISH
FL	FLOOR
FLSHG	FLASHING
FND	FOUNDATION
FP	FIREPLACE
FT	FOOT
FTG	FOOTING
GA	GAUGE
GALV	GALVANIZED
GLB	GLULAM BEAM
GR	GRADE
GYP	GYPSUM WALL BOARD
HDG	HOT-DIPPED GALVANIZED
HDR	HEADER
HF	HEM FIR
HGT	HEIGHT
HT	HEIGHT
IN	INCH
JT	JOINT
MAX	MAXIMUM
MIN	MINIMUM
MISC	MISCELLANEOUS
NB	NON-BEARING
NO	NUMBER
OC	ON CENTER
PL	PLATE
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT	PRESSURE TREATED
RAF	RAFTER
REF	REFERENCE
REINF	REINFORCEMENT
REQD	REQUIRED
REQS	REQUIREMENTS
SF	SQUARE FOOT
SHTG	SHEATHING
SIM	SIMILAR
SPF	SPRUCE PINE FIR
STD	STANDARD
SYP	SOUTHERN YELLOW PINE
T/	TOP OF
T/BM	TOP OF BEAM
T/CONC	TOP OF CONCRETE
T/PL	TOP OF PLATE
T/SLAB	TOP OF SLAB
T/ST	TOP OF STEEL
T/W	TOP OF WALL
TF	TOP FLUSH
TJ	TRIPLE JOIST
TP	TOP PLATE
TR	THREADED ROD
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
UPA	UNDER POST ABOVE
UWA	UNDER WALL ABOVE
VCB (V.C.B.)	VERTICAL CRUSH BLOCKING
VERT	VERTICAL
VIF	VERIFY IN FIELD
W/	WITH
WC	WESTERN CEDAR
WP	WATERPROOF
WWF	WELDED WIRE FABRIC

MARK R. THURSTELL
STATE OF WASHINGTON
PROFESSIONAL ENGINEER

LONGITUDE ONE TWENTY°
ENGINEERING & DESIGN

REVISIONS

△	DESCRIPTION	DATE	BY

- CLIENT REVISIONS - V2 8-20-2019 (PHASE 1)
CLIENT REVISIONS - P2 9-6-2019 (PHASE 2)

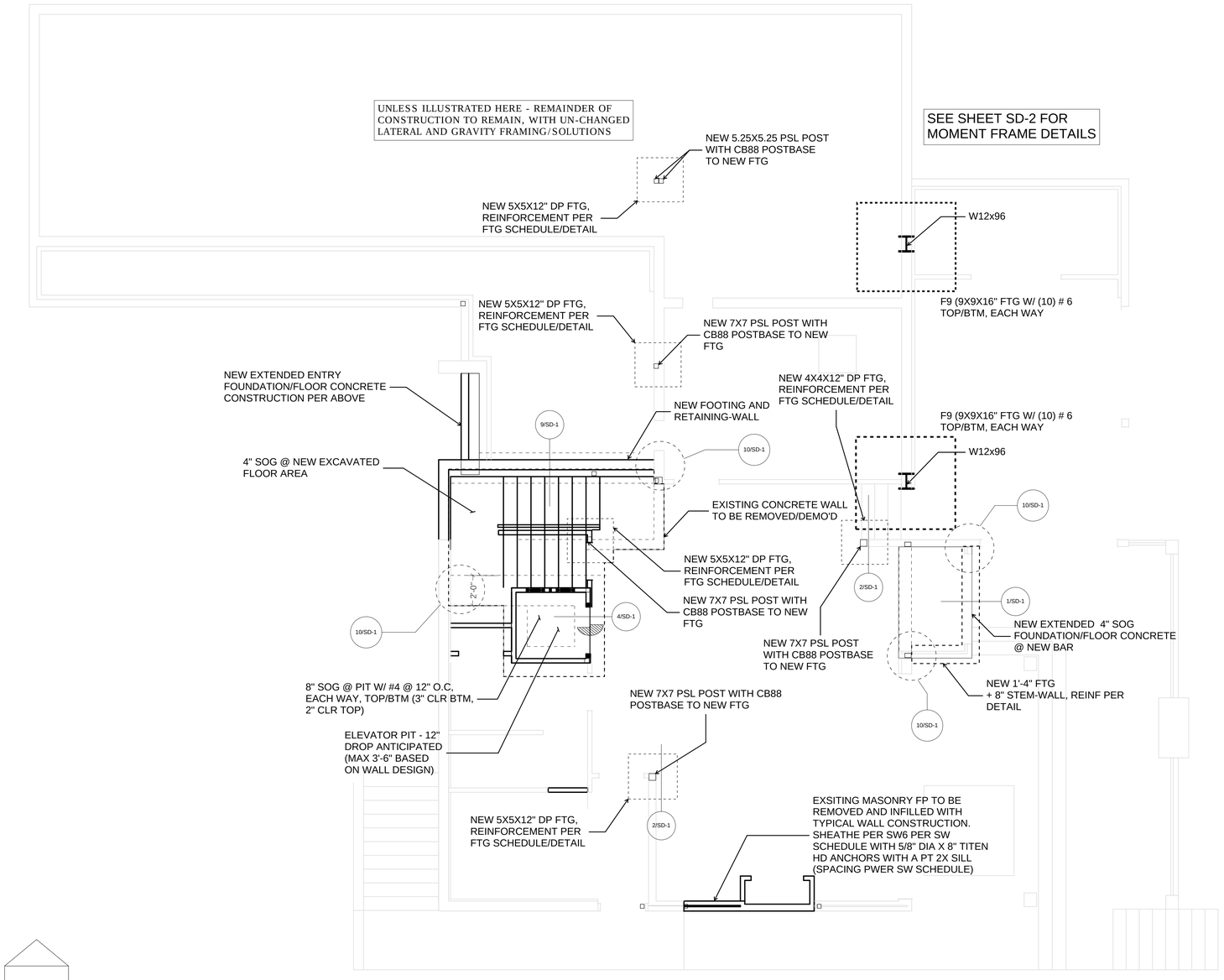
PROJECT NAME
THE BAYLEY RESIDENCE REMODEL

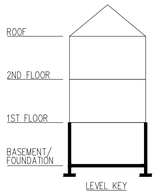
PROJECT NUMBER
S190326-2

DRAWN BY - MR
CHECKED BY - MRT
SHEET DATE - 08/30/2019

SCALE
24X36 SHEET:1/4"=1'-0"

DESCRIPTION
STRUCTURAL GENERAL NOTES
PHASE 2 REVISIONS
SHEET S-1





FOUNDATION PLAN

FOUNDATION NOTES

1. GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
2. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH. PROVIDED DIMENSIONS ARE TO FACE OF CONCRETE STEM WALL OR CENTER OF INDIVIDUAL FOOTING. OUTSIDE FACE OF STEM WALL ALIGNS WITH OUTSIDE FACE OF STUD WALL UNO. STHD HOLDOWNS ARE DIMENSIONED TO CENTER OF STRAP. HDU/HD/HTT HOLDOWNS ARE DIMENSIONED TO CENTER OF ANCHOR BOLT.
3. VERIFY ALL T/CONC ELEVATIONS ON ALL CONCRETE INCLUDING PARTIAL HEIGHT RETAINING WALLS. CONCRETE TO EXTEND MIN 8" ABOVE FINISHED GRADE. PROVIDE 1" RECESS AT DOUBLE SIDED SHEARWALLS TO ACCOMODATE 3X SILL PLATE.
4. FOOTINGS ARE TO BEAR ON COMPETENT NATIVE SOIL OR STRUCTURAL FILL CAPABLE OF SUPPORTING THE ASSUMED BEARING PRESSURE PER GENERAL NOTES. REFERENCE GEOTECHNICAL REPORT (IF AVAILABLE) FOR SUBGRADE PREPARATION, FILL REQUIREMENTS, FOOTING DRAINS, AND OTHER REQUIREMENTS. REFERENCE ARCH SET (OR OTHERS IF APPLICABLE) FOR FOOTING DRAINS AROUND PERIMETER OF BUILDING.
5. PRIOR TO POURING CONCRETE CONTRACTOR SHALL LOCATE AND VERIFY LOCATIONS OF ALL FOUNDATION OPENINGS, PENETRATIONS, AND SLOPES.
6. ALL WOOD LOCATED WITHIN 8" OF FINISHED GRADE, EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. ALL FASTENERS IN CONTACT WITH FIRE-RETARDANT OR PRESSURE-TREATED WOOD SHALL BE COVERED IN PROTECTIVE COATING (I.E. HDG OR SIM).
7. SILL ANCHOR BOLTS (J-BOLTS) SHALL BE ASTM F1554 (36KSI) HDG, ASTM A307 (36KSI) HDG OR SIM. ANCHOR BOLTS TO BE 5/8"Ø X 7" MIN EMBEDMENT. SPACING PER SHEARWALL SCHEDULE (72" O.C. MAX). EACH ANCHOR BOLT TO HAVE STANDARD HDG NUT AND WASHER INSTALLED OVER 3"X3"X1/4" HDG PLATE WASHER WITH AND EDGE OF THE PLATE WASHER LOCATED WITHIN 1/2" OF SHEATHED FACE OF WALL. FOR TWO-SIDED SHEARWALLS W/ 2X6 WALL FRAMING USE 4X4X1/4" PLATE WASHERS OR STAGGER ANCHOR BOLTS SO THAT EVERY OTHER PLATE WASHER IS LOCATED WITHIN 1/2" OF EACH FACE OF THE WALL.
8. HOLDOWNS BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER SPECIFICATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. HOLDOWN THREADED RODS SHALL BE ASTM F1554 (36KSI) HDG UNO. EMBEDDED END OF THREADED ROD TO HAVE 3"X3"X1/4" HDG PLATE WASHER BETWEEN TWO HAND-TIGHTENED HDG STANDARD NUTS.
9. CJ INDICATES CONTROL JOINT.
10. FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY OTHERS.
11. EXTERIOR STAIRS AND STEEL-FRAMED STAIRS BY OTHERS.
12. TYPICAL DETAILS:
    - 1/SD-1 TYP STEMWALL
    - 2/SD-1 TYP INTERIOR FOOTING
    - 3/SD-1 TYP CRAWLSPACE VENT
    - 4/SD-1 TYP FOOTING STEP
    - 5/SD-1 TYP CORNER BARS REQ'T
    - 7/SD-1 TYP CONSTRUCTION JOINT
    - 8/SD-1 TYP BAR BEND AND HOOK DETAIL
    - 9/SD-1 TYP STHD HOLDOWN INSTALLATION
    - 10/SD-1 TYP STHD HOLDOWN SECTION
    - 11/SD-1 TYP HOLDOWN INSTALLATION
    - 12/SD-1 TYP PONY WALL DETAIL

HOLDOWN SCHEDULE			
MODEL	ANCHOR	EMBEDMENT	MIN END POST
CS16/CS14	-	-	1-2X EA
MST#	-	-	2-2X OR 3X
STHD14/STHD14RJ	-	-	2-2X OR 3X
HDU2	5/8" TR	12"	2-2X OR 3X
HDU5	5/8" TR	12"	2-2X
HDU8	7/8" TR	12"	3-2X
HDU11	1" TR	12"	6X6
HDU14	1" TR	15"	6X6
HD19	1 1/4" TR	15"	6X6

FOUNDATION LEGEND

- INDICATES STEP AT T/FOUNDATION
- INDICATES STEP AT B/FOUNDATION
- TANK WALL (TOP OF WALL NOT TO STEP WITHIN HATCHED REGION)
- STHD14 (EXAMPLE) — HOLDOWN BY SIMPSON (STHD/HDU/HD/HTT, TYP)
- 24 X 24 X 10 (EXAMPLE) — FOOTING CENTERED ON POST (L X W X T)

MARK R. THURSTELL
STATE OF WASHINGTON
PROFESSIONAL ENGINEER

LONGITUDE ONE TWENTY°
ENGINEERING & DESIGN

REVISIONS

△	DESCRIPTION	DATE	BY

- CLIENT REVISIONS - V2 8-20-2019 (PHASE 1)
- CLIENT REVISIONS - P2 9-6-2019 (PHASE 2)

PROJECT NAME
THE BAYLEY RESIDENCE REMODEL

PROJECT NUMBER
S190326-2

DRAWN BY - MR

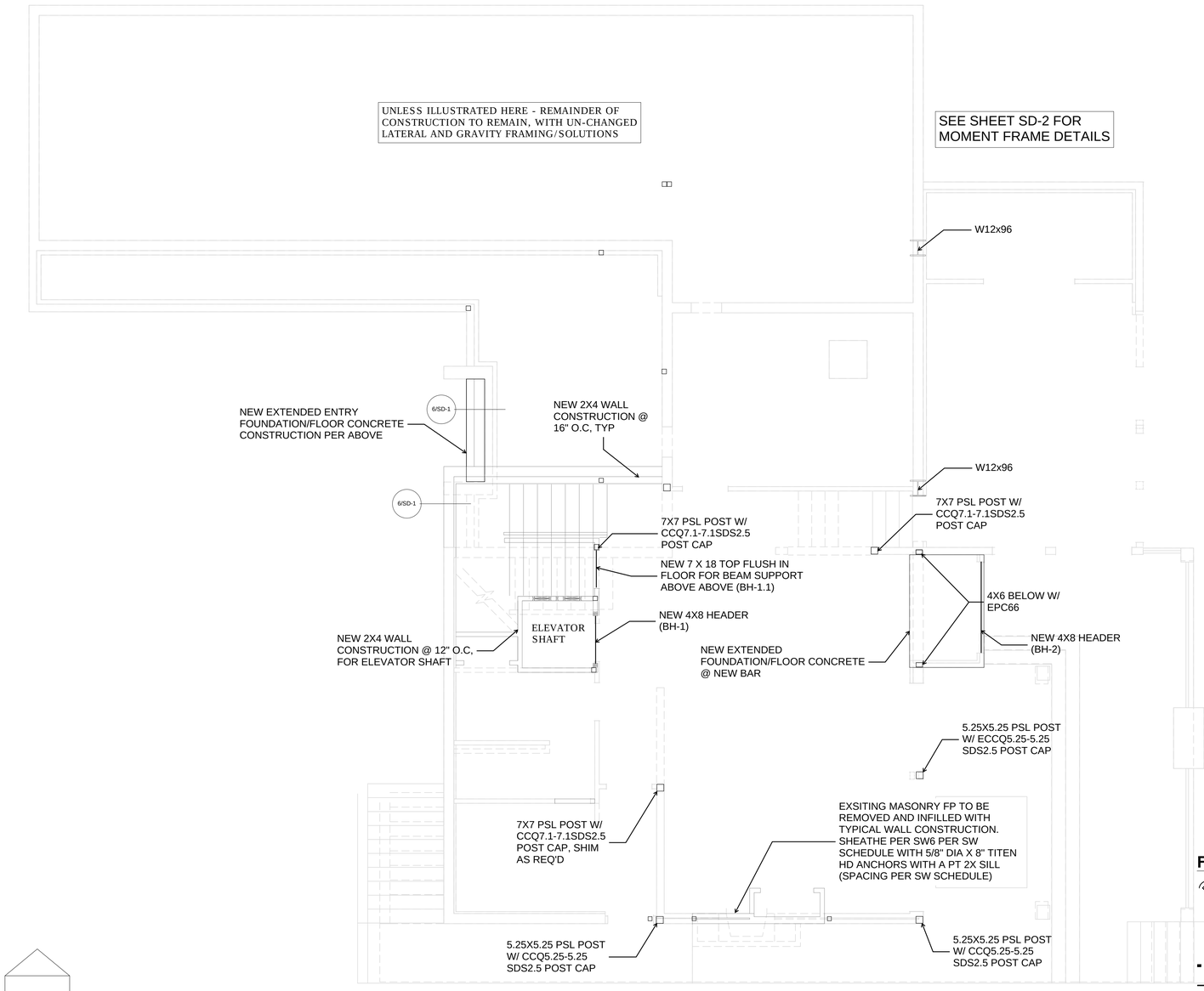
CHECKED BY - MRT

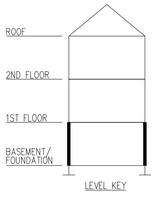
SHEET DATE - 08/30/2019

SCALE
24X36 SHEET:1/4"=1'-0"

DESCRIPTION: FOUNDATION PLAN — PHASE 2 REVISIONS

SHEET: S-2





BASEMENT WALL FRAMING AND SHEAR WALL PLAN

SHEAR WALL SCHEDULE

WALL	SHEATHING	PANEL EDGE NAILING (COMMON OR GALV BOX NAILS)	PANEL EDGE STUDS	ANCHOR BOLTS 5/8"Ø EMBED 7"	RIM CONNECTION		
					AT MUD SILL/ PLATE	AT ROOF EAVE TOP PLATE	AT SILL PLATE (SINKER NAIL .148Ø x 3 1/4")
SW6	7/16" APA PLY ONE SIDE	8d AT 6" O.C.	2x	48" O.C. IN 2x PLATE	LTP4 AT 24" O.C.	RBC AT 16" O.C.	16d AT 6" O.C.
SW4	7/16" APA PLY ONE SIDE	8d AT 4" O.C.	2x	32" O.C. IN 2x PLATE	LTP4 AT 16" O.C.	RBC AT 12" O.C.	16d AT 4" O.C.
SW3	7/16" APA PLY ONE SIDE	8d AT 3" O.C.	3x	16" O.C. IN 2x PLATE	LTP4 AT 16" O.C.	RBC AT 8" O.C.	16d AT 3" O.C.
SW2	7/16" APA PLY ONE SIDE	8d AT 2" O.C.	3x	12" O.C. IN 2x PLATE	LTP4 AT 12" O.C.	RBC AT 8" O.C.	16d AT 2" O.C.
2W4	7/16" APA PLY TWO SIDES	8d AT 4" O.C. EA SIDE	3x	24" O.C. IN 3x PLATE	LTP4+A35 @ 16" O.C. EA SIDE	N.A. AT ROOF EAVE	(2) ROWS 16d AT 4" O.C.
2W3	7/16" APA PLY TWO SIDES	8d AT 3" O.C. EA SIDE	3x	16" O.C. IN 3x PLATE	LTP4+A35 @ 16" O.C. EA SIDE	N.A. AT ROOF EAVE	(2) ROWS 16d AT 3" O.C.
2W2	7/16" APA PLY TWO SIDES	8d AT 2" O.C. EA SIDE	3x	16" O.C. IN 3x PLATE	LTP4+A35 @ 12" O.C. EA SIDE	N.A. AT ROOF EAVE	(2) ROWS 16d AT 2" O.C.

NOTES: 1) FOR NON-SHEAR WALL, PROVIDE ANCHOR BOLTS @ 72" O.C.

WALL FRAMING AND SHEAR WALL NOTES

1. GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
2. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH.
3. LUMBER GRADE PER GENERAL STRUCTURAL NOTES.
4. ALL BUNDLED STUDS SPECIFIED PER PLAN SHALL BE CONNECTED TOGETHER WITH 16d @ 6"O.C.
5. EXTERIOR WALL STUDS SHALL BE 2X6 @ 16"O.C. (≤10'), 2X6 @ 12"O.C. (>10') UNO. INTERIOR WALL STUDS SHALL BE 2X4 @ 16"O.C. UNO. REFER TO ARCH SET FOR WALL THICKNESS REQUIREMENTS AT PLUMBING STACKS. ALL INTERIOR NON-BEARING WALLS TO BE FRAMED MIN 0.25" UNDER FLOOR SYSTEM.
6. PROVIDE ONE KING STUD AND ONE JACK STUD MINIMUM AT EVERY HEADER UNO. JACK STUDS SHOULD BE CONTINUOUS TO THE FOUNDATION AND SHALL HAVE VERTICAL CRUSH BLOCKING WITHIN THE FLOOR FRAMING DEPTH MATCHING THE WIDTH OF JACK STUDS.
7. SHEARWALL SHEATHING AND NAILING REQUIREMENTS PER SHEARWALL SCHEDULE. ALL EXTERIOR WALLS SHALL BE TYPE SW6 UNO.
8. ALL SHEATHING PANEL EDGES TO OCCUR OVER STUDS, PLATES, RIMS OR HORIZONTAL BLOCKING. PANEL EDGE NAILING PER SHEARWALL SCHEDULE, FIELD NAILING AT 12" O.C. UNO.
9. PROVIDE MIN TWO 2X STUDS AT EACH END OF SHEARWALL UNO. PROVIDE PANEL EDGE NAILING INTO EACH STUD AT END OF WALL.
10. SHEARWALL PANEL EDGE STUDS INDICATE THE MINIMUM STUD WIDTH AT ABUTTING PANEL EDGES. TWO 2X STUDS ARE AN ACCEPTABLE ALTERNATE FOR 3X STUDS. TWO 2X STUDS ARE TO BE NAILED TOGETHER WITH TWO ROWS 10d NAILS AT 6" O.C (4" O.C. @ SW2 AND 2W2). AT DOUBLE SIDED SHEARWALLS VERTICAL PANEL EDGES TO BE STAGGERED ON OPPOSITE SIDES OF THE WALL EXCEPT END OF SHEARWALL.
11. LTP4 INSTALLED OVER PLYWOOD SHALL USE 8d COMMON NAILS (.131Ø X 2.5") LTP4 INSTALLED DIRECTLY AGAINST FRAMING MAY USE 8d SHORT (.131X 1.5") RBC INSTALLED DIRECTLY AGAINST FRAMING USE 10d SHORT (.148X 1.5").
12. WINDOW STRAP INDICATES THAT A WINDOW IS INCORPORATED WITHIN THE SHEAR WALL. REFER TO FORCE-TRANSFER AROUND OPENING DETAIL FOR FRAMING REQUIREMENTS.
13. STHD HOLDOWNS ARE DIMENSIONED TO CENTER OF STRAP. HDU/HD HOLDOWNS ARE DIMENSIONED TO CENTER OF ANCHOR BOLT.
14. SILL ANCHOR BOLTS (J-BOLTS) SHALL BE ASTM F1554 (36KSI) HDG, ASTM A307 (36KSI) HDG OR SIM. ANCHOR BOLTS TO BE 5/8"Ø X 7" MIN EMBEDMENT. SPACING PER SHEARWALL SCHEDULE (72" O.C. MAX). EACH ANCHOR BOLT TO HAVE STANDARD HDG NUT AND WASHER INSTALLED OVER 3"X3"X1/4" HDG PLATE WASHER WITH AND EDGE OF THE PLATE WASHER LOCATED WITHIN 1/2" OF SHEATHED FACE OF WALL. FOR TWO-SIDED SHEARWALLS W/ 2X6 WALL FRAMING USE 4X4X1/4" PLATE WASHERS OR STAGGER ANCHOR BOLTS SO THAT EVERY OTHER PLATE WASHER IS LOCATED WITHIN 1/2" OF EACH FACE OF THE WALL.
15. ALL HANGERS TO BE MANUFACTURED BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. REFER TO TYPICAL HANGER SCHEDULE FOR HANGER SIZE UNO ON PLAN OR DETAILS.
16. FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY OTHERS.
17. TYPICAL DETAILS:
    - 9/SD-1 TYP STHD HOLDOWN INSTALLATION
    - 10/SD-1 TYP STHD HOLDOWN SECTION
    - 11/SD-1 TYP HOLDOWN INSTALLATION
    - 12/SD-1 TYP PONY WALL DETAIL
    - 14/SD-1 TYP BEAM-TO-BEAM AND BEAM-TO-BLKG DRAG CONNECTION
    - 15/SD-1 TYP BEAM-TO-T/PL DRAG CONNECTION
    - 16/SD-1 TYP BEAM-TO-BLKG-TO-T/PL CONNECTION
    - 17/SD-1 TYP NON-BEARING WALL FRAMING
    - 20/SD-1 TYP TOP PLATE SPLICE
    - 1/SD-2 TYP NOTCHES AND HOLES IN WOOD STUDS
    - 2/SD-2 FORCE-TRANSFER AROUND WINDOWS DETAIL
    - 3/SD-2 TYP HEADER FRAMING

FRAMIN□ AND S□EAT□IN□ LE□END

- STHD14 (EXAMPLE) - HOLDOWN BY SIMPSON (STHD/MST/HDU/HD, TYP)
- #K / #J - INDICATES THE NUMBER OF KING AND JACK STUDS
- INDICATES SHEARWALL LOCATION (SW# - SHEAR WALL MARK)
- CS16 - HORIZONTAL STRAP (EXAMPLE)
- HEADER
- SW6 (A.1) - SHEAR WALL CALLOUT
  - REFERENCE TO WALL DESIGNATION IN THE CALCULATION PACKAGE
  - REFERENCE TO SHEAR WALL TYPE PER SHEAR WALL SCHEDULE
- 3 1/8" X 9" GLB (FH-5) - EXAMPLE
  - REFERENCE TO BEAM OR TRUSS CALCULATION IN CALCULATION PACKAGE
  - BEAM OR TRUSS MEMBER

MARK R. THURSTELL
STATE OF WASHINGTON
PROFESSIONAL ENGINEER

LONGITUDE ONE TWENTY°
ENGINEERING & DESIGN

REVISIONS

△	DESCRIPTION	DATE	BY

- CLIENT REVISIONS - V2 8-20-2019 (PHASE 1)
- CLIENT REVISIONS - P2 9-6-2019 (PHASE 2)

PROJECT NAME
THE BAYLEY RESIDENCE REMODEL

PROJECT NUMBER
S190326-2

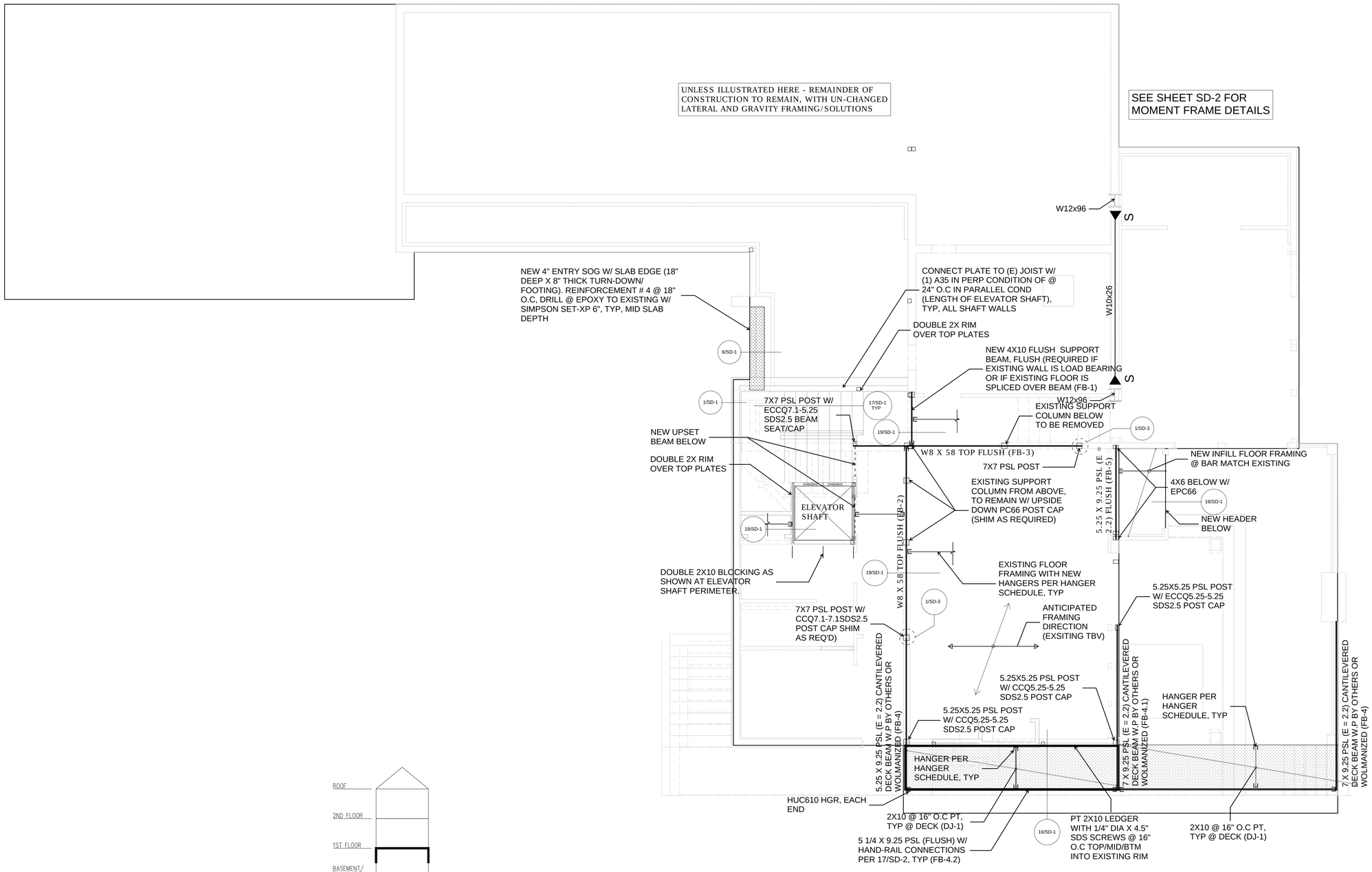
DRAWN BY - MR

CHECKED BY - MRT

SHEET DATE - 08/30/2019

SCALE
24X36 SHEET:1/4"=1'-0"

DESCRIPTION
BASEMENT WALL FRAMING AND SHEAR WALL PLAN
PHASE 2 REVISIONS
SHEET S-3



FIRST FLOOR FRAMING PLAN

FLOOR FRAMING NOTES

1. GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
2. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH.
3. FLOOR SHEATHING PER GENERAL NOTES. ALL SHEATHING TO BE GLUED AND NAILED TO FRAMING PER MANUFACTURER RECOMMENDATIONS. USE 8d COMMON NAILS (0.131" X 2 1/2") @ 6" O.C. AT PANEL EDGES AND AT ALL FRAMING DESIGNATED "WITH EDGE NAILING" OR "W/EN", AND 12" O.C. IN THE FIELD, UNO. PANEL EDGE JOINTS TO BE STAGGERED BETWEEN ADJACENT PANELS OF SHEATHING. PROVIDE GAP BETWEEN PANELS TO ALLOW FOR NATURAL EXPANSION/CONTRACTION (1/8" GAP TYP).
5. LOCATE ALL OPENINGS AND PENETRATIONS AND VERIFY NO CONFLICT WITH FLOOR FRAMING. MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS BY OTHERS.
6. ALL WOOD LOCATED WITHIN 8" OF FINISHED GRADE, EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. ALL FASTENERS IN CONTACT WITH FIRE-RETARDANT OR PRESSURE-TREATED WOOD SHALL BE COVERED IN PROTECTIVE COATING (I.E. HDG OR SIM).
6. ALL BEAMS SHALL BE SUPPORTED BY MIN TWO STUDS BELOW EACH END, UNLESS NOTED OTHERWISE ON PLAN. ALL BEAMS SHALL BE FRAMED FLUSH WITH JOISTS UNO. "DROPPED BEAM" OR "DB" INDICATES T/BEAM EQUAL B/JOISTS. "TOP FLUSH" OR "TF" INDICATES T/BEAM EQUAL T/JOISTS AND B/BEAM EXTENDING BELOW B/JOISTS. "BOTTOM FLUSH" OR "BF" INDICATES B/BEAM EQUAL B/JOISTS AND T/BEAM EXTENDING ABOVE T/JOISTS.
7. ALL NON-BEARING WALLS TO BE FRAMED MIN 0.25" UNDER FLOOR SYSTEM.
8. STUD QUANTITIES, POST SIZE, HOLDOWN, AND SHEARWALL REQUIREMENTS PER WALL FRAMING AND SHEARWALL PLAN BELOW.
9. ALL POSTS ABOVE THE FLOOR FRAMING SHALL BE BLOCKED WITHIN THE FLOOR DEPTH ("VERTICAL GRAIN BLKG", "VERTICAL CRUSH BLKG", OR "VCB"). BLOCKING WIDTH SHALL MATCH WIDTH OF POST OR BUNDLED STUDS ABOVE AND EXTEND FULL FLOOR DEPTH.
10. HORIZONTAL STRAPS INDICATED ON FRAMING PLANS SHALL BE CENTERED OVER THE TOP PLATE, BEAM, OR BLOCKING. STRAP LENGTH PER PLAN.
11. ALL TIES AND HANGERS TO BE MANUFACTURED BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. REFER TO TYPICAL HANGER SCHEDULE FOR HANGER SIZE UNO ON PLAN OR DETAILS.
12. ENGINEERED FLOOR JOISTS AND FLOOR TRUSSES TO BE DESIGNED BY OTHERS. REFER TO STRUCTURAL GENERAL NOTES FOR SUBMITTAL INFORMATION, AND DESIGN CRITERIA.
13. FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY OTHERS.
14. TYPICAL DETAILS:
    - 13/SD-1 TYP DROPPED BEAM AT CUT PLATES
    - 14/SD-1 TYP BEAM-TO-BEAM AND BEAM-TO-BLKG DRAG CONNECTION
    - 15/SD-1 TYP BEAM-TO-T/PL DRAG CONNECTION
    - 16/SD-1 TYP BEAM-TO-BLKG-TO-T/PL CONNECTION
    - 17/SD-1 TYP NON-LOAD BEARING WALL FRAMING
    - 18/SD-1 TYP FRAMING AT INTERIOR BEARING WALL
    - 19/SD-1 TYP FRAMING AT INTERIOR FLUSH BEAM

FRAMING LEGEND

- BLOCKED FLOOR DIAPHRAGM
- W10X15 - STEEL BEAM (EXAMPLE)
- GT - GIRDER TRUSS
- FLOOR BEAM
- INTERIOR BEARING WALL
- STRAP
- LOW ROOF
- 3 1/8" X 9" GLB (FH-5) - BEAM/HEADER CALL OUT (EXAMPLE)
  - REFERENCE TO BEAM OR TRUSS CALCULATION IN CALCULATION PACKAGE
  - BEAM OR TRUSS MEMBER
- HANGER AS REQD
- JOIST SPAN DIRECTION
- FLOOR/ROOF TRUSS
- EXTENTS OF SIMILAR JOISTS OR TRUSSES

TYPICAL JOIST HANGER SCHEDULE			
TJI210			
11 7/8"	2-PLY 11 7/8"	14"	2-PLY 14"
IUS2.06/11.88	MIU4.28/11	IUS2.06/14	MIU4.28/14
2X10			
1-PLY		2-PLY	
LUS210		LUS210-2	

TYPICAL BEAM HANGER SCHEDULE				
LVL / LSL / PSL				
	1 3/4"	3 1/2"	5 1/4"	7"
11 7/8"	HUS1.81/10	HHUS410	HGUS5.50/12	HGUS7.25/12
14"	HUS1.81/10	HHUS410	HGUS5.50/14	HGUS7.25/14

MARK R. THURSTELL
STATE OF WASHINGTON
PROFESSIONAL ENGINEER

LONGITUDE ONE TWENTY° ENGINEERING & DESIGN

REVISIONS

△	DESCRIPTION	DATE	BY

- CLIENT REVISIONS - V2 8-20-2019 (PHASE 1)
- CLIENT REVISIONS - P2 9-6-2019 (PHASE 2)

PROJECT NAME
THE BAYLEY RESIDENCE REMODEL

PROJECT NUMBER
S190326-2

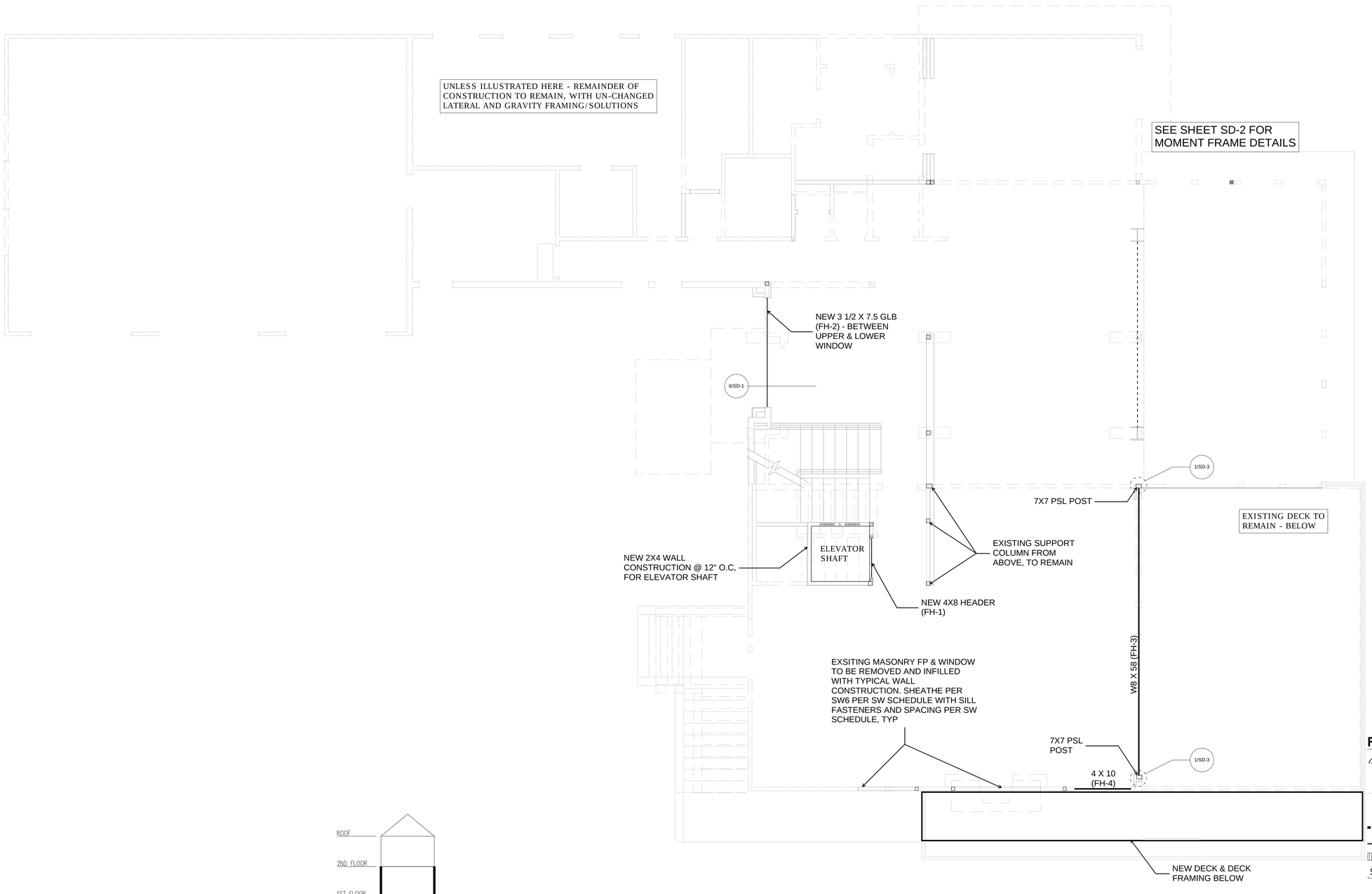
DRAWN BY - MR

CHECKED BY - MRT

SHEET DATE - 08/30/2019

SCALE
24X36 SHEET:1/4"=1'-0"

DESCRIPTION
FIRST FLOOR FRAMING PLAN
PHASE 2 REVISIONS
SHEET S-4



FIRST FLOOR WALL FRAMING AND SHEAR WALL PLAN

SHEAR WALL SCHEDULE

WALL	SHEATHING	PANEL EDGE NAILING (COMMON OR GALV BOX NAILS)	PANEL EDGE STUDS	ANCHOR BOLTS 5/8"Ø EMBED 7"	RIM CONNECTION		
					AT MUD SILL/ PLATE	AT ROOF EAVE TOP PLATE	AT SILL PLATE (SINKER NAIL .148Ø x 3 1/4")
SW6	7/16" APA PLY ONE SIDE	8d AT 6" O.C.	2x	48" O.C. IN 2x PLATE	LTP4 AT 24" O.C.	RBC AT 16" O.C.	16d AT 6" O.C.
SW4	7/16" APA PLY ONE SIDE	8d AT 4" O.C.	2x	32" O.C. IN 2x PLATE	LTP4 AT 16" O.C.	RBC AT 12" O.C.	16d AT 4" O.C.
SW3	7/16" APA PLY ONE SIDE	8d AT 3" O.C.	3x	16" O.C. IN 2x PLATE	LTP4 AT 16" O.C.	RBC AT 8" O.C.	16d AT 3" O.C.
SW2	7/16" APA PLY ONE SIDE	8d AT 2" O.C.	3x	12" O.C. IN 2x PLATE	LTP4 AT 12" O.C.	RBC AT 8" O.C.	16d AT 2" O.C.
2W4	7/16" APA PLY TWO SIDES	8d AT 4" O.C. EA SIDE	3x	24" O.C. IN 3x PLATE	LTP4+A35 @ 16" O.C. EA SIDE	N.A. AT ROOF EAVE	(2) ROWS 16d AT 4" O.C.
2W3	7/16" APA PLY TWO SIDES	8d AT 3" O.C. EA SIDE	3x	16" O.C. IN 3x PLATE	LTP4+A35 @ 16" O.C. EA SIDE	N.A. AT ROOF EAVE	(2) ROWS 16d AT 3" O.C.
2W2	7/16" APA PLY TWO SIDES	8d AT 2" O.C. EA SIDE	3x	16" O.C. IN 3x PLATE	LTP4+A35 @ 12" O.C. EA SIDE	N.A. AT ROOF EAVE	(2) ROWS 16d AT 2" O.C.

NOTES: 1) FOR NON-SHEAR WALL, PROVIDE ANCHOR BOLTS @ 72" O.C.

WALL FRAMING AND SHEAR WALL NOTES

1. GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
2. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH.
3. LUMBER GRADE PER GENERAL STRUCTURAL NOTES.
4. ALL BUNDLED STUDS SPECIFIED PER PLAN SHALL BE CONNECTED TOGETHER WITH 16d @ 6"O.C.
5. EXTERIOR WALL STUDS SHALL BE 2X6 @ 16"O.C. (≤10'), 2X6 @ 12"O.C. (>10') UNO. INTERIOR WALL STUDS SHALL BE 2X4 @ 16"O.C. UNO. REFER TO ARCH SET FOR WALL THICKNESS REQUIREMENTS AT PLUMBING STACKS. ALL INTERIOR NON-BEARING WALLS TO BE FRAMED MIN 0.25" UNDER FLOOR SYSTEM.
6. PROVIDE ONE KING STUD AND ONE JACK STUD MINIMUM AT EVERY HEADER UNO. JACK STUDS SHOULD BE CONTINUOUS TO THE FOUNDATION AND SHALL HAVE VERTICAL CRUSH BLOCKING WITHIN THE FLOOR FRAMING DEPTH MATCHING THE WIDTH OF JACK STUDS.
7. SHEARWALL SHEATHING AND NAILING REQUIREMENTS PER SHEARWALL SCHEDULE. ALL EXTERIOR WALLS SHALL BE TYPE SW6 UNO.
8. ALL SHEATHING PANEL EDGES TO OCCUR OVER STUDS, PLATES, RIMS OR HORIZONTAL BLOCKING. PANEL EDGE NAILING PER SHEARWALL SCHEDULE, FIELD NAILING AT 12" O.C. UNO.
9. PROVIDE MIN TWO 2X STUDS AT EACH END OF SHEARWALL UNO. PROVIDE PANEL EDGE NAILING INTO EACH STUD AT END OF WALL.
10. SHEARWALL PANEL EDGE STUDS INDICATE THE MINIMUM STUD WIDTH AT ABUTTING PANEL EDGES. TWO 2X STUDS ARE AN ACCEPTABLE ALTERNATE FOR 3X STUDS. TWO 2X STUDS ARE TO BE NAILED TOGETHER WITH TWO ROWS 10d NAILS AT 6" O.C (4" O.C. @ SW2 AND 2W2). AT DOUBLE SIDED SHEARWALLS VERTICAL PANEL EDGES TO BE STAGGERED ON OPPOSITE SIDES OF THE WALL EXCEPT END OF SHEARWALL.
11. LTP4 INSTALLED OVER PLYWOOD SHALL USE 8d COMMON NAILS (.131Ø X 2.5") LTP4 INSTALLED DIRECTLY AGAINST FRAMING MAY USE 8d SHORT (.131X 1.5") RBC INSTALLED DIRECTLY AGAINST FRAMING USE 10d SHORT (.148X 1.5").
12. WINDOW STRAP INDICATES THAT A WINDOW IS INCORPORATED WITHIN THE SHEAR WALL. REFER TO FORCE-TRANSFER AROUND OPENING DETAIL FOR FRAMING REQUIREMENTS.
13. STHD HOLDOWNS ARE DIMENSIONED TO CENTER OF STRAP. HDU/HD HOLDOWNS ARE DIMENSIONED TO CENTER OF ANCHOR BOLT.
14. SILL ANCHOR BOLTS (J-BOLTS) SHALL BE ASTM F1554 (36KSI) HDG, ASTM A307 (36KSI) HDG OR SIM. ANCHOR BOLTS TO BE 5/8"Ø X 7" MIN EMBEDMENT. SPACING PER SHEARWALL SCHEDULE (72" O.C. MAX). EACH ANCHOR BOLT TO HAVE STANDARD HDG NUT AND WASHER INSTALLED OVER 3"X3"X1/4" HDG PLATE WASHER WITH AND EDGE OF THE PLATE WASHER LOCATED WITHIN 1/2" OF SHEATHED FACE OF WALL. FOR TWO-SIDED SHEARWALLS W/ 2X6 WALL FRAMING USE 4X4X1/4" PLATE WASHERS OR STAGGER ANCHOR BOLTS SO THAT EVERY OTHER PLATE WASHER IS LOCATED WITHIN 1/2" OF EACH FACE OF THE WALL.
15. ALL HANGERS TO BE MANUFACTURED BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. REFER TO TYPICAL HANGER SCHEDULE FOR HANGER SIZE UNO ON PLAN OR DETAILS.
16. FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY OTHERS.
17. TYPICAL DETAILS:
    - 9/SD-1 TYP STHD HOLDOWN INSTALLATION
    - 10/SD-1 TYP STHD HOLDOWN SECTION
    - 11/SD-1 TYP HOLDOWN INSTALLATION
    - 12/SD-1 TYP PONY WALL DETAIL
    - 14/SD-1 TYP BEAM-TO-BEAM AND BEAM-TO-BLKG DRAG CONNECTION
    - 15/SD-1 TYP BEAM-TO-T/PL DRAG CONNECTION
    - 16/SD-1 TYP BEAM-TO-BLKG-TO-T/PL CONNECTION
    - 17/SD-1 TYP NON-BEARING WALL FRAMING
    - 20/SD-1 TYP TOP PLATE SPLICE
    - 1/SD-2 TYP NOTCHES AND HOLES IN WOOD STUDS
    - 2/SD-2 FORCE-TRANSFER AROUND WINDOWS DETAIL
    - 3/SD-2 TYP HEADER FRAMING

FRAMIN□ AND S□EAT□IN□ LE□END

- STHD14 (EXAMPLE) - HOLDOWN BY SIMPSON (STHD/MST/HDU/HD, TYP)
- #K / #J - INDICATES THE NUMBER OF KING AND JACK STUDS
- INDICATES SHEARWALL LOCATION (SW# - SHEAR WALL MARK)
- CS16 - HORIZONTAL STRAP (EXAMPLE)
- HEADER
- SW6 (A.1) - SHEAR WALL CALLOUT
  - REFERENCE TO WALL DESIGNATION IN THE CALCULATION PACKAGE
  - REFERENCE TO SHEAR WALL TYPE PER SHEAR WALL SCHEDULE
- 3 1/8" X 9" GLB (FH-5) - EXAMPLE
  - REFERENCE TO BEAM OR TRUSS CALCULATION IN CALCULATION PACKAGE
  - BEAM OR TRUSS MEMBER

MARK R. THURSTELL
STATE OF WASHINGTON
PROFESSIONAL ENGINEER

LONGITUDE ONE TWENTY°
ENGINEERING & DESIGN

REVISIONS

△	DESCRIPTION	DATE	BY

- CLIENT REVISIONS - V2 8-20-2019 (PHASE 1)
- CLIENT REVISIONS - P2 9-6-2019 (PHASE 2)

PROJECT NAME
THE BAYLEY RESIDENCE REMODEL

PROJECT NUMBER
S190326-2

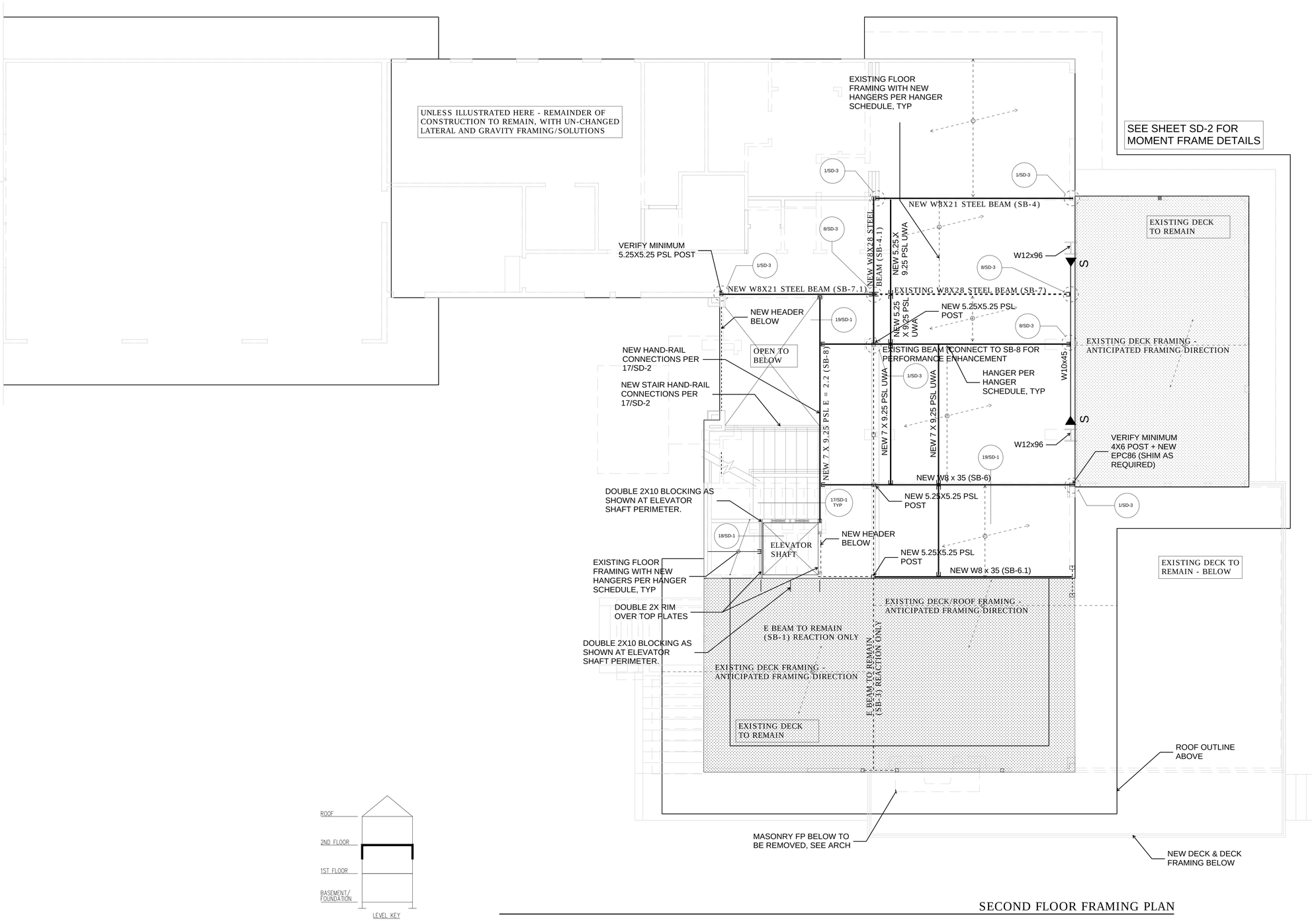
DRAWN BY - MR

CHECKED BY - MRT

SHEET DATE - 08/30/2019

SCALE
24X36 SHEET:1/4"=1'-0"

DESCRIPTION
FIRST FLOOR WALL FRAMING AND SHEAR WALL PLAN
PHASE 2 REVISIONS
SHEET S-5



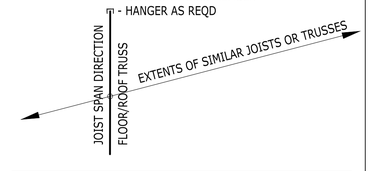
SECOND FLOOR FRAMING PLAN

FLOOR FRAMING NOTES

1. GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
2. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH.
3. FLOOR SHEATHING PER GENERAL NOTES. ALL SHEATHING TO BE GLUED AND NAILED TO FRAMING PER MANUFACTURER RECOMMENDATIONS. USE 8d COMMON NAILS (0.131" X 2 1/2") @ 6" O.C. AT PANEL EDGES AND AT ALL FRAMING DESIGNATED "WITH EDGE NAILING" OR "W/EN", AND 12" O.C. IN THE FIELD, UNO. PANEL EDGE JOINTS TO BE STAGGERED BETWEEN ADJACENT PANELS OF SHEATHING. PROVIDE GAP BETWEEN PANELS TO ALLOW FOR NATURAL EXPANSION/CONTRACTION (1/8" GAP TYP).
5. LOCATE ALL OPENINGS AND PENETRATIONS AND VERIFY NO CONFLICT WITH FLOOR FRAMING. MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS BY OTHERS.
6. ALL WOOD LOCATED WITHIN 8" OF FINISHED GRADE, EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. ALL FASTENERS IN CONTACT WITH FIRE-RETARDANT OR PRESSURE-TREATED WOOD SHALL BE COVERED IN PROTECTIVE COATING (I.E. HDG OR SIM).
6. ALL BEAMS SHALL BE SUPPORTED BY MIN TWO STUDS BELOW EACH END, UNLESS NOTED OTHERWISE ON PLAN. ALL BEAMS SHALL BE FRAMED FLUSH WITH JOISTS UNO. "DROPPED BEAM" OR "DB" INDICATES T/BEAM EQUAL B/JOISTS. "TOP FLUSH" OR "TF" INDICATES T/BEAM EQUAL T/JOISTS AND B/BEAM EXTENDING BELOW B/JOISTS. "BOTTOM FLUSH" OR "BF" INDICATES B/BEAM EQUAL B/JOISTS AND T/BEAM EXTENDING ABOVE T/JOISTS.
7. ALL NON-BEARING WALLS TO BE FRAMED MIN 0.25" UNDER FLOOR SYSTEM.
8. STUD QUANTITIES, POST SIZE, HOLDOWN, AND SHEARWALL REQUIREMENTS PER WALL FRAMING AND SHEARWALL PLAN BELOW.
9. ALL POSTS ABOVE THE FLOOR FRAMING SHALL BE BLOCKED WITHIN THE FLOOR DEPTH ("VERTICAL GRAIN BLKG", "VERTICAL CRUSH BLKG", OR "VCB"). BLOCKING WIDTH SHALL MATCH WIDTH OF POST OR BUNDLED STUDS ABOVE AND EXTEND FULL FLOOR DEPTH.
10. HORIZONTAL STRAPS INDICATED ON FRAMING PLANS SHALL BE CENTERED OVER THE TOP PLATE, BEAM, OR BLOCKING. STRAP LENGTH PER PLAN.
11. ALL TIES AND HANGERS TO BE MANUFACTURED BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. REFER TO TYPICAL HANGER SCHEDULE FOR HANGER SIZE UNO ON PLAN OR DETAILS.
12. ENGINEERED FLOOR JOISTS AND FLOOR TRUSSES TO BE DESIGNED BY OTHERS. REFER TO STRUCTURAL GENERAL NOTES FOR SUBMITTAL INFORMATION, AND DESIGN CRITERIA.
13. FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY OTHERS.
14. TYPICAL DETAILS:
    - 13/SD-1 TYP DROPPED BEAM AT CUT PLATES
    - 14/SD-1 TYP BEAM-TO-BEAM AND BEAM-TO-BLKG DRAG CONNECTION
    - 15/SD-1 TYP BEAM-TO-T/PL DRAG CONNECTION
    - 16/SD-1 TYP BEAM-TO-BLKG-TO-T/PL CONNECTION
    - 17/SD-1 TYP NON-LOAD BEARING WALL FRAMING
    - 18/SD-1 TYP FRAMING AT INTERIOR BEARING WALL
    - 19/SD-1 TYP FRAMING AT INTERIOR FLUSH BEAM

FRAMING LEGEND

- BLOCKED FLOOR DIAPHRAGM
- W10X15 - STEEL BEAM (EXAMPLE)
- GT - GIRDER TRUSS
- FLOOR BEAM
- INTERIOR BEARING WALL
- STRAP
- LOW ROOF
- 3 1/8" X 9" GLB (FH-5) - BEAM/HEADER CALL OUT (EXAMPLE)
  - REFERENCE TO BEAM OR TRUSS CALCULATION IN CALCULATION PACKAGE
  - BEAM OR TRUSS MEMBER
- HANGER AS REQD



TYPICAL JOIST HANGER SCHEDULE			
TJI210			
11 7/8"	2-PLY 11 7/8"	14"	2-PLY 14"
IUS2.06/11.88	MIU4.28/11	IUS2.06/14	MIU4.28/14
2X10			
1-PLY		2-PLY	
LUS210		LUS210-2	

TYPICAL BEAM HANGER SCHEDULE				
LVL / LSL / PSL				
	1 3/4"	3 1/2"	5 1/4"	7"
11 7/8"	HUS1.81/10	HHUS410	HGUS5.50/12	HGUS7.25/12
14"	HUS1.81/10	HHUS410	HGUS5.50/14	HGUS7.25/14

MARK R. THURSTELL
STATE OF WASHINGTON
PROFESSIONAL ENGINEER

LONGITUDE ONE TWENTY° ENGINEERING & DESIGN

REVISIONS

△	DESCRIPTION	DATE	BY

- CLIENT REVISIONS - V2 8-20-2019 (PHASE 1)
- CLIENT REVISIONS - P2 9-6-2019 (PHASE 2)

PROJECT NAME
THE BAYLEY RESIDENCE REMODEL

PROJECT NUMBER
S190326-2

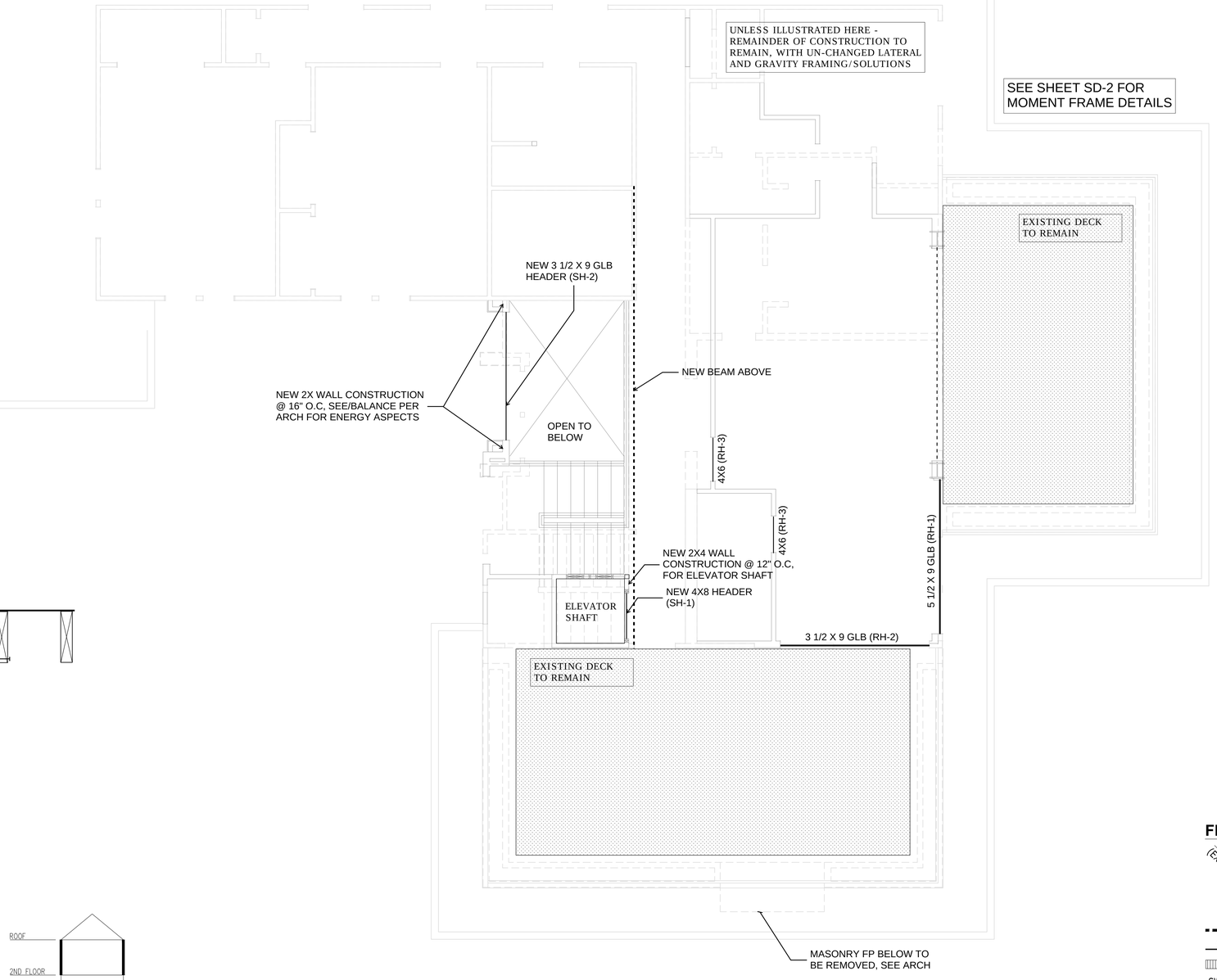
DRAWN BY - MR

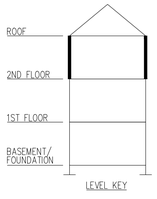
CHECKED BY - MRT

SHEET DATE - 08/30/2019

SCALE
24X36 SHEET:1/4"=1'-0"

DESCRIPTION
SECOND FLOOR FRAMING PLAN
PHASE 2 REVISIONS
SHEET S-6





SECOND FLOOR WALL FRAMING AND SHEAR WALL PLAN

WALL FRAMING AND SHEAR WALL NOTES

1. GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
2. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH.
3. LUMBER GRADE PER GENERAL STRUCTURAL NOTES.
4. ALL BUNDLED STUDS SPECIFIED PER PLAN SHALL BE CONNECTED TOGETHER WITH 16d @ 6"O.C.
5. EXTERIOR WALL STUDS SHALL BE 2X6 @ 16"O.C. (≤10'), 2X6 @ 12"O.C. (>10') UNO. INTERIOR WALL STUDS SHALL BE 2X4 @ 16"O.C. UNO. REFER TO ARCH SET FOR WALL THICKNESS REQUIREMENTS AT PLUMBING STACKS. ALL INTERIOR NON-BEARING WALLS TO BE FRAMED MIN 0.25" UNDER FLOOR SYSTEM.
6. PROVIDE ONE KING STUD AND ONE JACK STUD MINIMUM AT EVERY HEADER UNO. JACK STUDS SHOULD BE CONTINUOUS TO THE FOUNDATION AND SHALL HAVE VERTICAL CRUSH BLOCKING WITHIN THE FLOOR FRAMING DEPTH MATCHING THE WIDTH OF JACK STUDS.
7. SHEARWALL SHEATHING AND NAILING REQUIREMENTS PER SHEARWALL SCHEDULE. ALL EXTERIOR WALLS SHALL BE TYPE SW6 UNO.
8. ALL SHEATHING PANEL EDGES TO OCCUR OVER STUDS, PLATES, RIMS OR HORIZONTAL BLOCKING. PANEL EDGE NAILING PER SHEARWALL SCHEDULE, FIELD NAILING AT 12" O.C. UNO.
9. PROVIDE MIN TWO 2X STUDS AT EACH END OF SHEARWALL UNO. PROVIDE PANEL EDGE NAILING INTO EACH STUD AT END OF WALL.
10. SHEARWALL PANEL EDGE STUDS INDICATE THE MINIMUM STUD WIDTH AT ABUTTING PANEL EDGES. TWO 2X STUDS ARE AN ACCEPTABLE ALTERNATE FOR 3X STUDS. TWO 2X STUDS ARE TO BE NAILED TOGETHER WITH TWO ROWS 10d NAILS AT 6" O.C (4" O.C. @ SW2 AND 2W2). AT DOUBLE SIDED SHEARWALLS VERTICAL PANEL EDGES TO BE STAGGERED ON OPPOSITE SIDES OF THE WALL EXCEPT END OF SHEARWALL.
11. LTP4 INSTALLED OVER PLYWOOD SHALL USE 8d COMMON NAILS (.131Ø X 2.5") LTP4 INSTALLED DIRECTLY AGAINST FRAMING MAY USE 8d SHORT (.131X 1.5") RBC INSTALLED DIRECTLY AGAINST FRAMING USE 10d SHORT (.148X 1.5").
12. WINDOW STRAP INDICATES THAT A WINDOW IS INCORPORATED WITHIN THE SHEAR WALL. REFER TO FORCE-TRANSFER AROUND OPENING DETAIL FOR FRAMING REQUIREMENTS.
13. STHD HOLDOWNS ARE DIMENSIONED TO CENTER OF STRAP. HDU/HD HOLDOWNS ARE DIMENSIONED TO CENTER OF ANCHOR BOLT.
14. SILL ANCHOR BOLTS (J-BOLTS) SHALL BE ASTM F1554 (36KSI) HDG, ASTM A307 (36KSI) HDG OR SIM. ANCHOR BOLTS TO BE 5/8"Ø X 7" MIN EMBEDMENT. SPACING PER SHEARWALL SCHEDULE (72" O.C. MAX). EACH ANCHOR BOLT TO HAVE STANDARD HDG NUT AND WASHER INSTALLED OVER 3"X3"X1/4" HDG PLATE WASHER WITH AND EDGE OF THE PLATE WASHER LOCATED WITHIN 1/2" OF SHEATHED FACE OF WALL. FOR TWO-SIDED SHEARWALLS W/ 2X6 WALL FRAMING USE 4X4X1/4" PLATE WASHERS OR STAGGER ANCHOR BOLTS SO THAT EVERY OTHER PLATE WASHER IS LOCATED WITHIN 1/2" OF EACH FACE OF THE WALL.
15. ALL HANGERS TO BE MANUFACTURED BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. REFER TO TYPICAL HANGER SCHEDULE FOR HANGER SIZE UNO ON PLAN OR DETAILS.
16. FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY OTHERS.
17. TYPICAL DETAILS:
    - 9/SD-1 TYP STHD HOLDOWN INSTALLATION
    - 10/SD-1 TYP STHD HOLDOWN SECTION
    - 11/SD-1 TYP HOLDOWN INSTALLATION
    - 12/SD-1 TYP PONY WALL DETAIL
    - 14/SD-1 TYP BEAM-TO-BEAM AND BEAM-TO-BLKG DRAG CONNECTION
    - 15/SD-1 TYP BEAM-TO-T/PL DRAG CONNECTION
    - 16/SD-1 TYP BEAM-TO-BLKG-TO-T/PL CONNECTION
    - 17/SD-1 TYP NON-BEARING WALL FRAMING
    - 20/SD-1 TYP TOP PLATE SPLICE
    - 1/SD-2 TYP NOTCHES AND HOLES IN WOOD STUDS
    - 2/SD-2 FORCE-TRANSFER AROUND WINDOWS DETAIL
    - 3/SD-2 TYP HEADER FRAMING

FRAMIN□ AND S□EAT□IN□ LE□END

- STHD14 (EXAMPLE) - HOLDOWN BY SIMPSON (STHD/MST/HDU/HD, TYP)
- #K / #J - INDICATES THE NUMBER OF KING AND JACK STUDS
- - - - - - INDICATES SHEARWALL LOCATION (SW# - SHEAR WALL MARK)
- CS16 - HORIZONTAL STRAP (EXAMPLE)
- HEADER
- SW6 (A.1) - SHEAR WALL CALLOUT
  - REFERENCE TO WALL DESIGNATION IN THE CALCULATION PACKAGE
  - REFERENCE TO SHEAR WALL TYPE PER SHEAR WALL SCHEDULE
- 3 1/8" X 9" GLB (FH-5) - EXAMPLE
  - REFERENCE TO BEAM OR TRUSS CALCULATION IN CALCULATION PACKAGE
  - BEAM OR TRUSS MEMBER

SHEAR WALL SCHEDULE

WALL	SHEATHING	PANEL EDGE NAILING (COMMON OR GALV BOX NAILS)	PANEL EDGE STUDS	ANCHOR BOLTS 5/8"Ø EMBED 7"	RIM CONNECTION		
					AT MUD SILL/ PLATE	AT ROOF EAVE TOP PLATE	AT SILL PLATE (SINKER NAIL .148Ø x 3 1/4")
SW6	7/16" APA PLY ONE SIDE	8d AT 6" O.C.	2x	48" O.C. IN 2x PLATE	LTP4 AT 24" O.C.	RBC AT 16" O.C.	16d AT 6" O.C.
SW4	7/16" APA PLY ONE SIDE	8d AT 4" O.C.	2x	32" O.C. IN 2x PLATE	LTP4 AT 16" O.C.	RBC AT 12" O.C.	16d AT 4" O.C.
SW3	7/16" APA PLY ONE SIDE	8d AT 3" O.C.	3x	16" O.C. IN 2x PLATE	LTP4 AT 16" O.C.	RBC AT 8" O.C.	16d AT 3" O.C.
SW2	7/16" APA PLY ONE SIDE	8d AT 2" O.C.	3x	12" O.C. IN 2x PLATE	LTP4 AT 12" O.C.	RBC AT 8" O.C.	16d AT 2" O.C.
2W4	7/16" APA PLY TWO SIDES	8d AT 4" O.C. EA SIDE	3x	24" O.C. IN 3x PLATE	LTP4+A35 @ 16" O.C. EA SIDE	N.A. AT ROOF EAVE	(2) ROWS 16d AT 4" O.C.
2W3	7/16" APA PLY TWO SIDES	8d AT 3" O.C. EA SIDE	3x	16" O.C. IN 3x PLATE	LTP4+A35 @ 16" O.C. EA SIDE	N.A. AT ROOF EAVE	(2) ROWS 16d AT 3" O.C.
2W2	7/16" APA PLY TWO SIDES	8d AT 2" O.C. EA SIDE	3x	16" O.C. IN 3x PLATE	LTP4+A35 @ 12" O.C. EA SIDE	N.A. AT ROOF EAVE	(2) ROWS 16d AT 2" O.C.

NOTES: 1) FOR NON-SHEAR WALL, PROVIDE ANCHOR BOLTS @ 72" O.C.

MARK R. THURSTELL
STATE OF WASHINGTON
PROFESSIONAL ENGINEER

LONGITUDE ONE TWENTY°
ENGINEERING & DESIGN

REVISIONS

△	DESCRIPTION	DATE	BY

- CLIENT REVISIONS - V2 8-20-2019 (PHASE 1)
- CLIENT REVISIONS - P2 9-6-2019 (PHASE 2)

PROJECT NAME
THE BAYLEY RESIDENCE REMODEL

PROJECT NUMBER
S190326-2

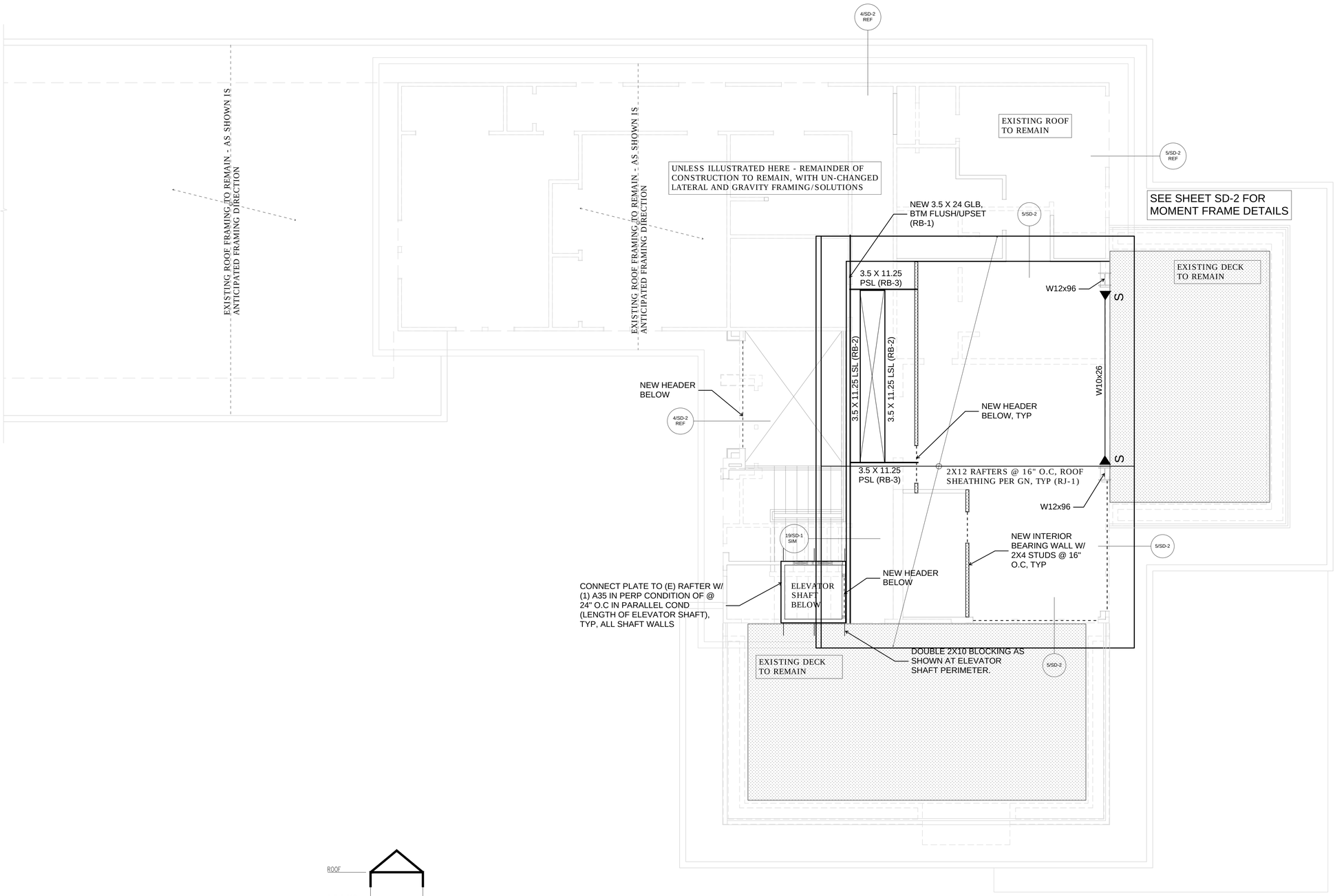
DRAWN BY - MR

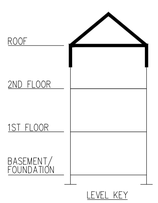
CHECKED BY - MRT

SHEET DATE - 08/30/2019

SCALE
24X36 SHEET:1/4"=1'-0"

DESCRIPTION
SECOND FLOOR WALL FRAMING AND SHEAR WALL PLAN
PHASE 2 REVISIONS
SHEET S-7





ROOF FRAMING PLAN

ROOF FRAMING NOTES

1. GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
2. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH.
3. ROOF SHEATHING PER GENERAL NOTES. ALL SHEATHING TO BE GLUED AND NAILED TO FRAMING PER MANUFACTURER RECOMMENDATIONS. USE 8d COMMON NAILS (0.131" X 2 1/2") @ 6" O.C. AT PANEL EDGES AND AT ALL FRAMING DESIGNATED "WITH EDGE NAILING" OR "W/EN", AND 12" O.C. IN THE FIELD, UNO. PANEL EDGE JOINTS TO BE STAGGERED BETWEEN ADJACENT PANELS OF SHEATHING. PROVIDE GAP BETWEEN PANELS TO ALLOW FOR NATURAL EXPANSION/CONTRACTION (1/8" GAP TYP).
4. ALL ROOF TRUSSES SHALL BE SPACED NO FURTHER APART THAN 24" O.C. AND SHALL BE CONNECTED TO TOP PLATE WITH H2.5 TIE UNO.
5. ALL GIRDER TRUSSES SHALL BE CONNECTED TO TOP PLATE WITH TWO H6 TIES UNO.
6. LOCATE ALL OPENINGS AND PENETRATIONS AND VERIFY NO CONFLICT WITH ROOF FRAMING. MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS BY OTHERS.
7. ALL BEAMS AND GIRDER TRUSSES SHALL BE SUPPORTED BY MIN TWO STUDS BELOW EACH END, UNLESS NOTED OTHERWISE ON PLAN. ALL BEAMS SHALL BE FRAMED FLUSH WITH JOISTS UNO. "DROPPED BEAM" OR "DB" INDICATES T/BEAM EQUAL B/JOISTS. "TOP FLUSH" OR "TF" INDICATES T/BEAM EQUAL T/JOISTS AND B/BEAM EXTENDING BELOW B/JOISTS. "BOTTOM FLUSH" OR "BF" INDICATES B/BEAM EQUAL B/JOISTS AND T/BEAM EXTENDING ABOVE T/JOISTS.
8. ALL NON-BEARING WALLS TO BE FRAMED MIN 0.25" UNDER FLOOR SYSTEM.
9. STUD QUANTITIES, POST SIZE, HOLDOWN, AND SHEARWALL REQUIREMENTS PER WALL FRAMING AND SHEARWALL PLAN BELOW.
10. HORIZONTAL STRAPS INDICATED ON FRAMING PLANS SHALL BE CENTERED OVER THE TOP PLATE, BEAM, OR BLOCKING. STRAP LENGTH PER PLAN UNO.
11. ALL HANGERS TO BE MANUFACTURED BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. REFER TO TYPICAL HANGER SCHEDULE FOR HANGER SIZE UNO ON PLAN OR DETAILS. HANGERS FOR ROOF TRUSSES BY OTHERS.
12. ENGINEERED ROOF JOISTS AND ROOF TRUSSES TO BE DESIGNED BY OTHERS. REFER TO STRUCTURAL GENERAL NOTES FOR SUBMITTAL INFORMATION, AND DESIGN CRITERIA.
    - 12.1. STANDARD DEAD AND LIVE LOADS SHALL BE USED FOR TRUSS DESIGN. REFERENCE STRUCTURAL GENERAL NOTES FOR MORE INFORMATION.
    - 12.2. CHANGES TO LAYOUT MUST BE SUBMITTED TO THE ARCHITECT AND EOR FOR REVIEW AND APPROVAL.
    - 12.3. TRUSS SUBMITTAL PACKAGE TO BE PROVIDED TO EOR FOR REVIEW. REFERENCE STRUCTURAL GENERAL NOTES FOR SUBMITTAL REQUIREMENTS.
    - 12.4. (XXX LBS SHEAR/DRAG) INDICATES SHEAR TRANSFER LOAD. SHEAR TRUSS SHALL BE DESIGNED TO BE ABLE TO TRANSFER SPECIFIED LATERAL LOAD APPLIED AT THE TOP CHORD TO THE BOTTOM CHORD AND INTO SHEARWALL BELOW.
    - 12.5. ROOF TRUSSES SHOULD BE DESIGNED FOR ADDITIONAL LOADS WHERE APPLICABLE AS SPECIFIED BY THE ARCHITECT (I.E. MECHANICAL UNITS, ROOF DECKS AND PATIOS, GREEN ROOFS, SOLAR UNITS AND ETC).
    - 12.6. TRUSS DESIGN FOR BEARING AT TOP PLATES TO BE DESIGNED FOR COMPRESSION PERPENDICULAR TO GRAIN.
13. FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY OTHERS.
14. ROOF COVERINGS AND ROOFING MATERIAL BY OTHERS.
15. ROOF DRAINAGE BY OTHERS.
16. ATTIC VENTILATION BY OTHERS.
17. FOR TYPICAL INSTALLATION DETAILS REFERENCE TO:
    - 13/SD-1 TYP DROPPED BEAM AT CUT PLATES
    - 14/SD-1 TYP BEAM-TO-BEAM AND BEAM-TO-BLKG DRAG CONNECTION
    - 15/SD-1 TYP BEAM-TO-T/PL DRAG CONNECTION
    - 16/SD-1 TYP BEAM-TO-BLKG-TO-T/PL CONNECTION
    - 17/SD-1 TYP NON-LOAD BEARING WALL FRAMING
    - 4/SD-2 TYP HIP ROOF FRAMING
    - 5/SD-2 TYP GABLE END ROOF FRAMING
    - 6/SD-2 TYP ROOF OVERFRAMING
    - 7/SD-2 TYP INTERIOR SHEAR TRUSS
    - 8/SD-2 TYP INTERIOR OFFSET SHEAR TRUSS
    - 9/SD-2 TYP TRUSS BLOCKING

FRAMING LEGEND

- GIRDER OR GABLE END TRUSS
- INTERIOR BEARING WALL
- ROOF OVERFRAMING
- 3 1/8" X 9" GLB (FH-5) - EXAMPLE
  - REFERENCE TO BEAM OR TRUSS CALCULATION IN CALCULATION PACKAGE
  - BEAM OR TRUSS MEMBER
- HANGER AS REQD
- FLOOR/ROOF TRUSS OR JOIST SPAN DIRECTION
- EXTENTS OF SIMILAR JOISTS OR TRUSSES

MARK R. THURSTELL
STATE OF WASHINGTON
PROFESSIONAL ENGINEER

LONGITUDE ONE TWENTY° ENGINEERING & DESIGN

REVISIONS

△	DESCRIPTION	DATE	BY

- CLIENT REVISIONS - V2 8-20-2019 (PHASE 1)
- CLIENT REVISIONS - P2 9-6-2019 (PHASE 2)

PROJECT NAME
THE BAYLEY RESIDENCE REMODEL

PROJECT NUMBER
S190326-2

DRAWN BY - MR

CHECKED BY - MRT

SHEET DATE - 08/30/2019

SCALE
24X36 SHEET:1/4"=1'-0"

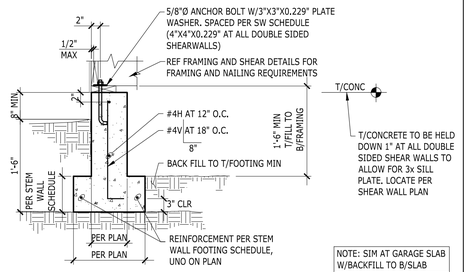
DESCRIPTION: ROOF FRAMING PLAN

PHASE 2 REVISIONS

SHEET: S-8

STEM WALL FOOTING SCHEDULE

FOOTING WIDTH PER PLAN	FOOTING DEPTH	REINFORCEMENT	
		LONGITUDINAL	TRANSVERSE
1'-4"	8"	(2)#4, CONT	N/A
2'-0"	10"	(3)#4, CONT	N/A
2'-6"	10"	(3)#4, CONT	#4@12"O.C

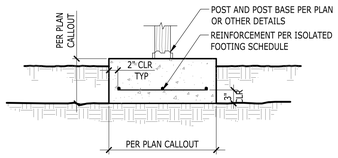


NOTE: SIM AT GARAGE SLAB W/BACKFILL TO B/SLAB

1 STEM WALL AT EXTERIOR

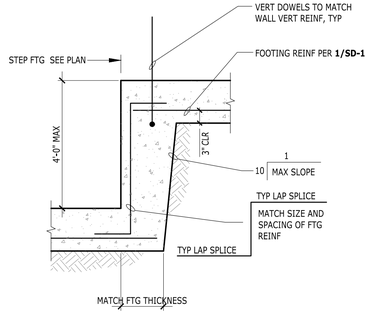
ISOLATED FOOTING SCHEDULE

FOOTING SIZE PER PLAN	REINFORCEMENT
24" X 24" X 10"	(3)#4, EA WAY, BTM
30" X 30" X 10"	(3)#4, EA WAY, BTM
36" X 36" X 12"	(4)#4, EA WAY, BTM
48" X 48" X 12"	(5)#4, EA WAY, TOP/BTM
60" X 36" X 12"	(6)#4 SHORT, (4)#4 LONG, BTM



2 ISOLATED INTERIOR FOOTING

3

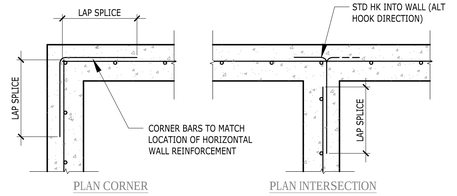


4 STEP AT WALL FOOTING

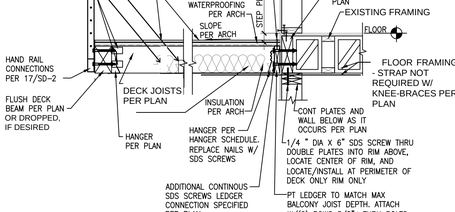
LAP SPLICE AND STANDARD HOOK LENGTH FOR CORNER BARS

BAR SIZE PER WALL	LAP SPLICE LENGTH	STD HOOK LENGTH
#4	2'-6"	0'-8"
#5	3'-0"	0'-10"
#6	3'-8"	1'-0"
#8	5'-0"	1'-3"

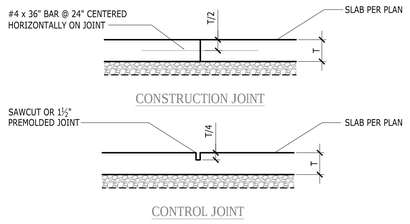
IF INTERSECTING WALLS HAVE DIFFERENT SIZE OF HORIZONTAL REINFORCEMENT, CORNER BARS MATCHING LARGER REINFORCEMENT SIZE AND SPACING TO BE USED



5 CORNER BARS AT CONCRETE WALLS

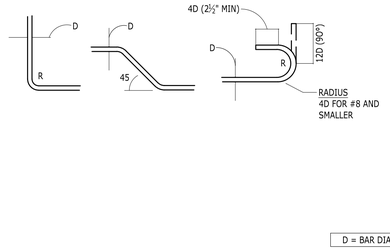


6 TYPICAL THICKENED SLAB EDGE TURN DOWN



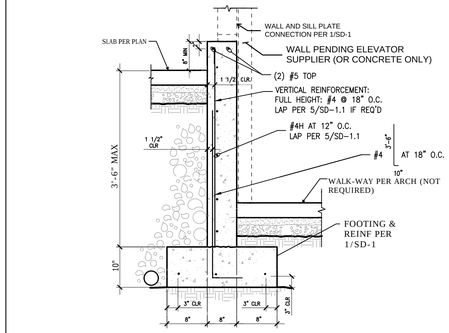
NOTES:
1. PROVIDE CONSTRUCTION / CONTROL JOINT TO ENCLOSE APPROXIMATE SQUARE AREAS OF 225 SF MAX, WITH A MAXIMUM PANEL RATIO OF 1.3 TO 1.0.
2. USE EARLY-ENTRY DRY-CUT SAW AS SOON AS PRACTICAL. SAWCUT ALONG SHORT DIRECTION OF POUR FIRST.

7 CONSTRUCTION/CONTROL JOINT DETAILS

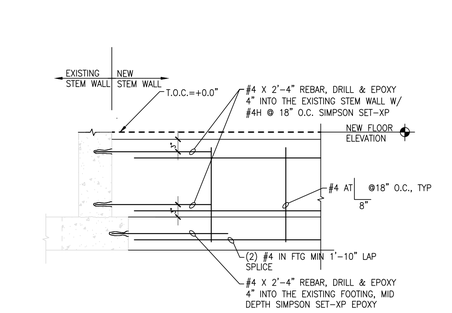


D = BAR DIAMETER

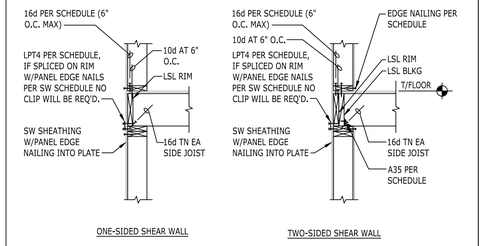
8 BAR BEND AND HOOK DETAILS



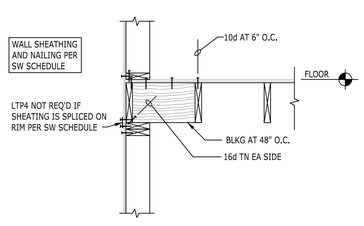
9 RETAINING WALL (4'-0" MAX BACKFILL)



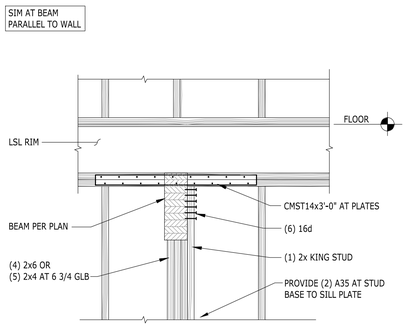
10 FOUNDATION DETAIL



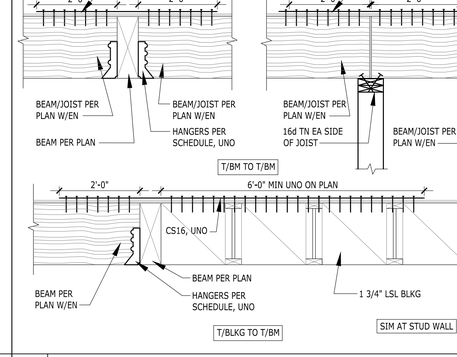
11 SHEAR TRANSFER AT EXTERIOR WALL



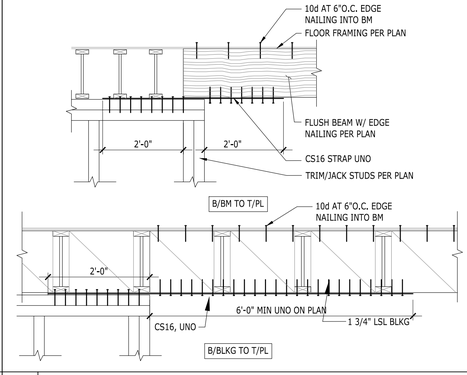
12 SHEAR TRANSFER AT EXTERIOR WALL



13 BEAM AT DISCONTINUOUS TOP PLATES

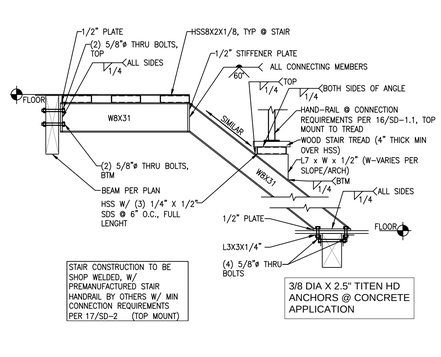


14 TENSION TIE AT FLOOR FRAMING

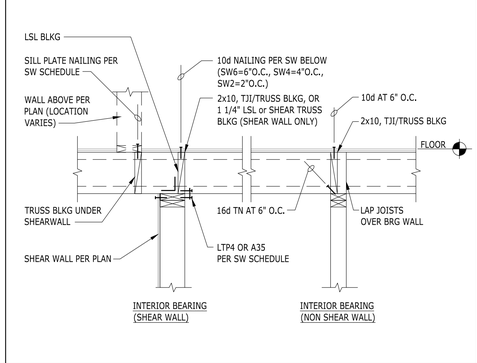


15 TENSION TIE AT FLOOR FRAMING

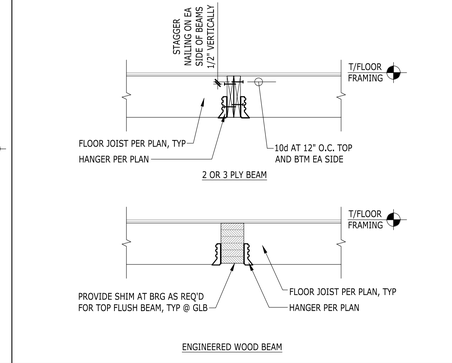
16 DECK FRAMING



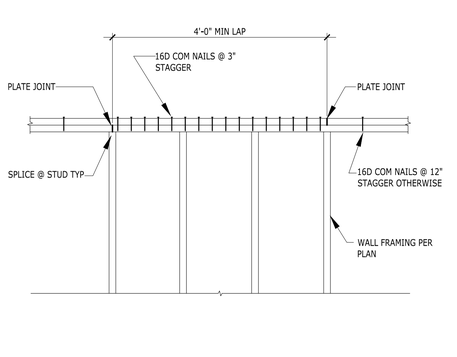
17 STAIR DETAIL



18 FLOOR FRAMING AT INTERIOR BEARING WALL



19 JOISTS TO FLUSH BEAM CONNECTION



20 ELEVATION TOP PLATE SPLICE

MARK R. THURFJELL
EXPIRES: 9/30/2020
PROFESSIONAL ENGINEER

LONGITUDE ONE TWENTY°
ENGINEERING & DESIGN

REVISIONS

△	DESCRIPTION	DATE	BY

- CLIENT REVISIONS - V2 8-20-2019
- CLIENT REVISIONS - P2 9-6-2019 (PHASE 2)

PROJECT NAME
THE BAYLEY RESIDENCE REMODEL

PROJECT NUMBER
S190326-2

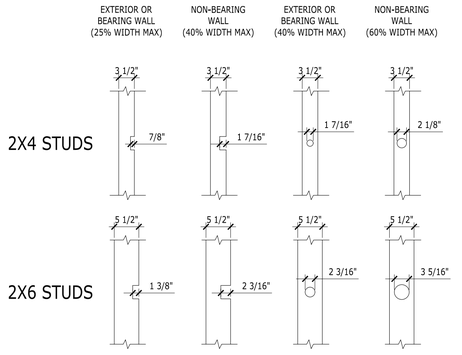
DRAWN BY - MR

CHECKED BY - MT

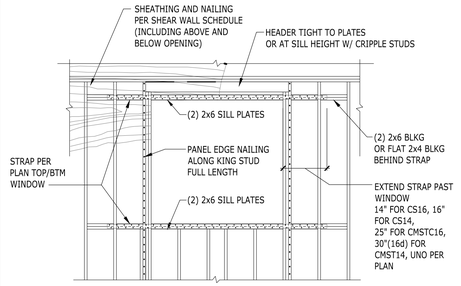
SHEET DATE - 06/11/2018

SCALE
24X36 SHEET:1/4"=1'-0"

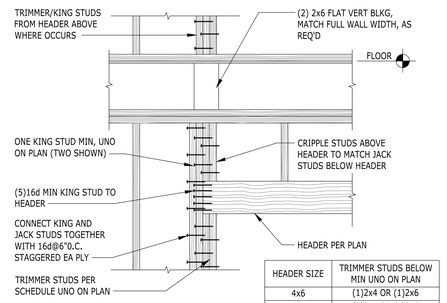
DESCRIPTION
STRUCTURAL DETAILS
PHASE 2 REVISIONS
SHEET SD-1



1 ALLOWABLE STUD NOTCHING AND BORING

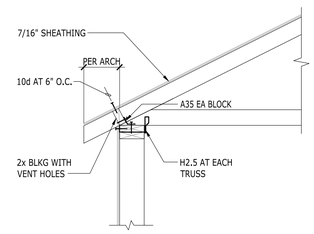


2 STRAPS AROUND WINDOWS

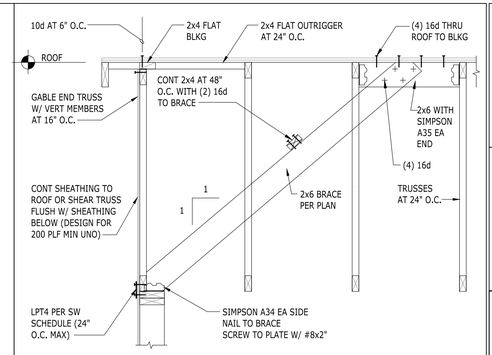


HEADER SIZE	TRIMMER STUDS BELOW MIN UNO ON PLAN
4x6	(1)2x4 OR (1)2x6
4x8	(2)2x4 OR (1)2x6
4x10	(3)2x4 OR (2)2x6
3 1/8 GLB	(3)2x4 OR (2)2x6
5 1/8 GLB	(3)2x6

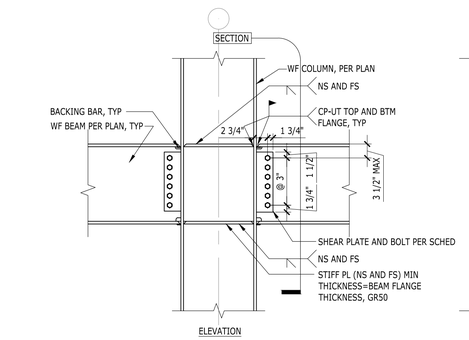
3 TYPICAL HEADER FRAMING



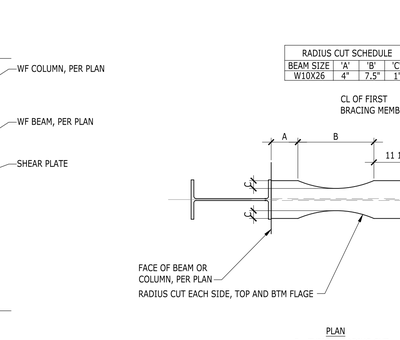
4 HIP ROOF FRAMING



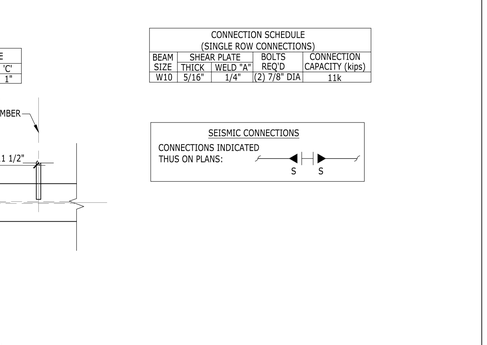
5 GABLE END FRAMING



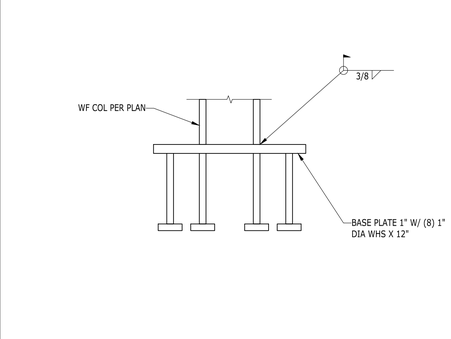
6 ROOF OVERFRAMING



7 PARALLEL TRUSS AT SHEAR WALL



8 OFFSET SHEAR TRUSS ATTACHMENT



9 TYPICAL TRUSS BLOCKING

10

11

16 SEISMIC FRAME MOMENT CONNECTION DETAILS

12

13

RADIUS CUT SCHEDULE			
BEAM SIZE	'A'	'B'	'C'
W10X26	4"	7.5"	1"

CONNECTION SCHEDULE (SINGLE ROW CONNECTIONS)				
BEAM SIZE	SHEAR PLATE THICK	SHEAR PLATE WELD "A"	BOLTS REQ'D	CONNECTION CAPACITY (kips)
W10	5/16"	1/4"	(2) 7/8" DIA	11k

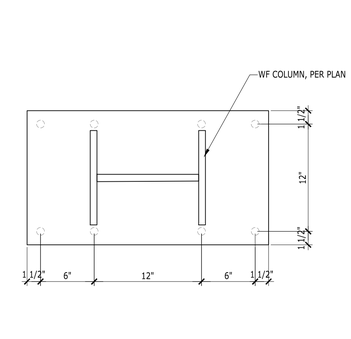
SEISMIC CONNECTIONS

CONNECTIONS INDICATED THUS ON PLANS: S S

14

19 BASE PLATE ELEVATION

15



20 BASE PLATE PLAN

MARK R. THURFJELL
STATE OF WASHINGTON
PROFESSIONAL ENGINEER

LONGITUDE ONE TWENTY° ENGINEERING & DESIGN

REVISIONS

△	DESCRIPTION	DATE	BY

- CLIENT REVISIONS - V2 8-20-2019 (PHASE 1)

CLIENT REVISIONS - P2 9-6-2019 (PHASE 2)

PROJECT NAME

THE BAYLEY RESIDENCE REMODEL

PROJECT NUMBER

S190326-2

DRAWN BY - MR

CHECKED BY - MRT

SHEET DATE - 08/30/2019

SCALE

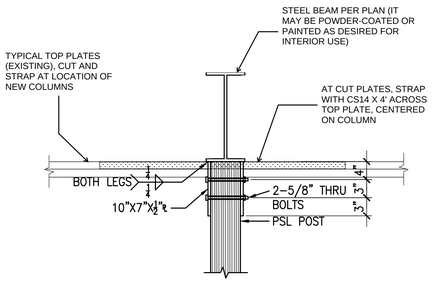
24X36 SHEET:1/4"=1'-0"

DESCRIPTION

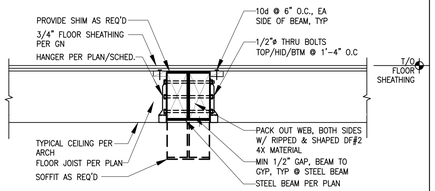
STRUCTURAL DETAILS

PHASE 2 REVISIONS

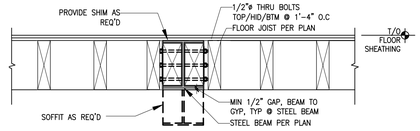
SHEET SD - 2



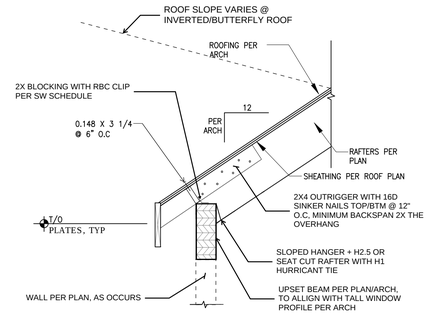
1 STEEL BEAM TO COLUMN CONNECTION



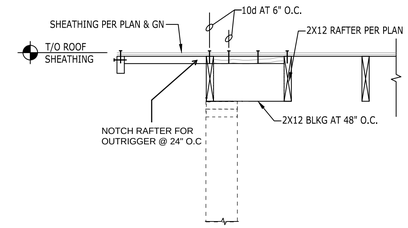
2 STEEL @ PERPENDICULAR FLOOR JOISTS



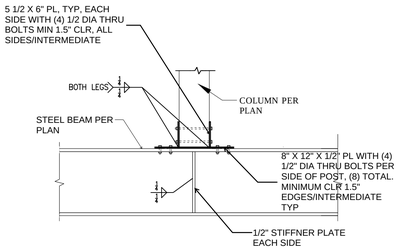
3 STEEL @ PARALLEL FLOOR JOISTS



4 RAFTER DETAIL (HIP)

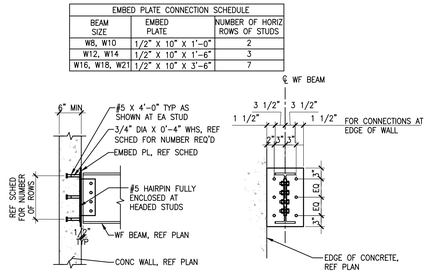


5 RAFTER DETAIL (GABLE)



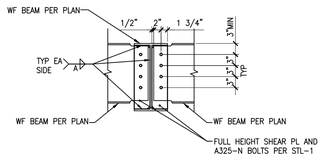
6 WOOD COLUMN/BEAM TO STEEL BEAM

EMBED PLATE CONNECTION SCHEDULE		
BEAM SIZE	EMBED PLATE	NUMBER OF HORIZ ROWS OF STUDS
W8, W10	1/2" X 10" X 1'-0"	2
W12, W14	1/2" X 10" X 1'-6"	3
W16, W18, W21	1/2" X 10" X 3'-6"	7



CONNECTION NOTES:
1. ALL BOLTED CONN ARE TO BE TYPE N WITH FULLY PRETENSIONED ASTM A325 BOLTS PER AISC STANDARDS, UNO.
2. ALL CONN PLATE MATERIAL TO BE A36, EXCEPT WHERE HIGHER STRENGTH MATERIAL IS CALLED OUT.
3. ALTERNATE CONN MAY BE USED IF APPROVED BY THE ENGINEER AND SHALL HAVE A MIN CAPACITY PER THE SCHED ON THIS SHEET

7 STEEL BEAM TO CONCRETE



8 SINGLE PLATE BEAM CONNECTION

BEAM CONNECTION SCHEDULE					
BEAM SIZE	#BOLTS	BOLT DIAMETER A325-N	PLATE THICKNESS	WELD SIZE A	CAPACITY (k)
W10	2	7/8"	3/8"	1/4"	26
W12	3	7/8"	3/8"	1/4"	39
W14	3	7/8"	3/8"	1/4"	39
W16	4	7/8"	3/8"	1/4"	52
W18	5	7/8"	3/8"	5/16"	65
W21	6	7/8"	3/8"	5/16"	78
W24	7	7/8"	3/8"	5/16"	91
W27	8	7/8"	7/16"	5/16"	115

10

11

12

13

14

15

16

LONGITUDE ONE TWENTY°
ENGINEERING & DESIGN

REVISIONS

△	DESCRIPTION	DATE	BY
-	CLIENT REVISIONS - V2	8-20-2019	
	CLIENT REVISIONS - P2	9-6-2019 (PHASE 2)	

PROJECT NAME
THE BAYLEY RESIDENCE REMODEL

PROJECT NUMBER
S190326-2

DRAWN BY - MR

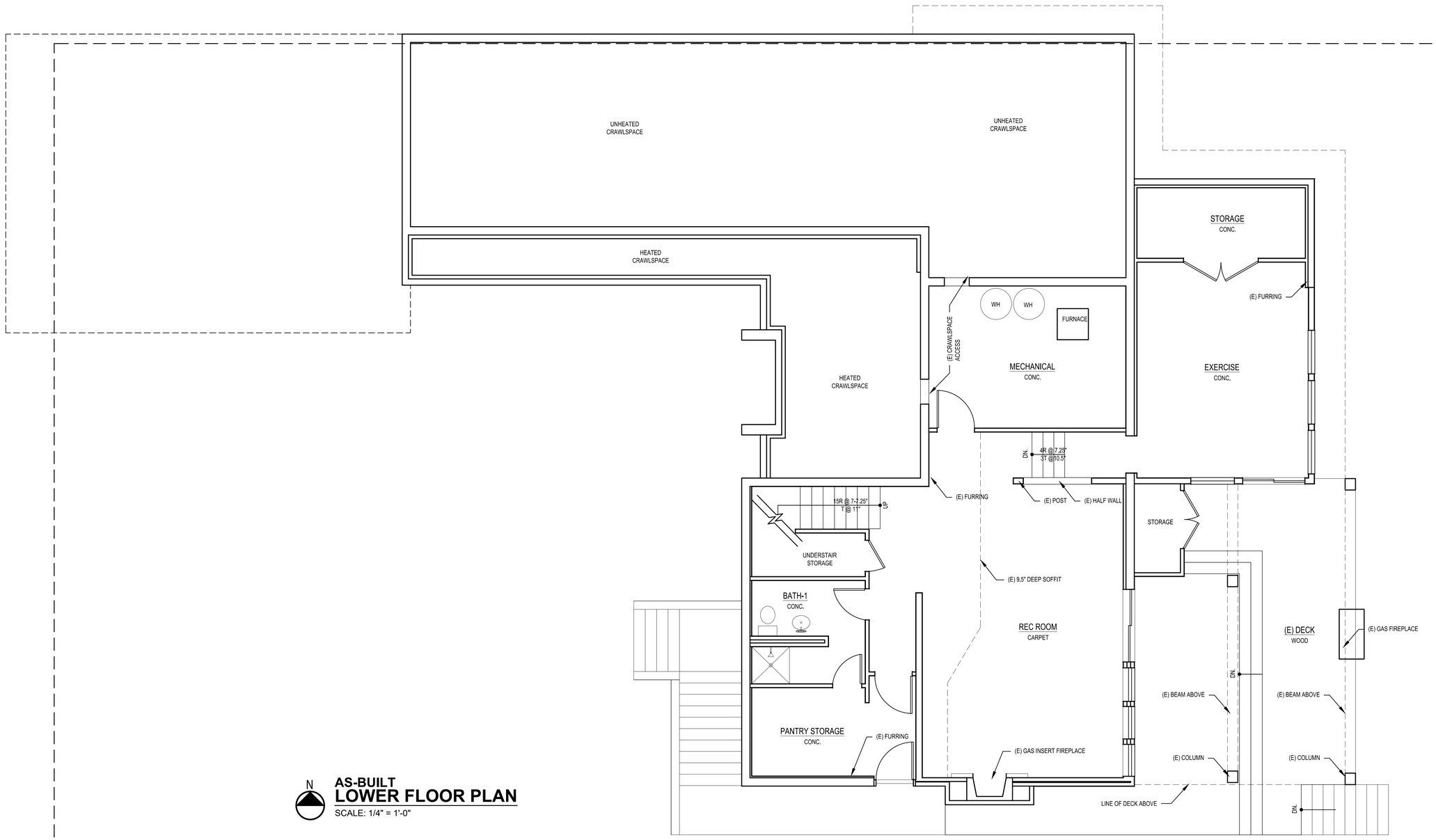
CHECKED BY - MT

SHEET DATE - 06/11/2018

SCALE
24X36 SHEET:1/4"=1'-0"

DESCRIPTION
STRUCTURAL DETAILS
PHASE 2 REVISIONS

SHEET
SD-3



N

AS-BUILT LOWER FLOOR PLAN

SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" X 36", IT IS A REDUCED PRINT; REDUCE SCALE ACCORDINGLY

PERMIT SET 9/06/19

STURMAN ARCHITECTS

TEL (425) 451-7003

9 103rd Avenue NE
Suite 203
Bellevue, WA 98004

5562 REGISTERED ARCHITECT
BRADLEY J. STURMAN
STATE OF WASHINGTON

BAYLEY RESIDENCE
PERMIT SET
6060 E. MERCER WAY
MERCER ISLAND, WA 98040

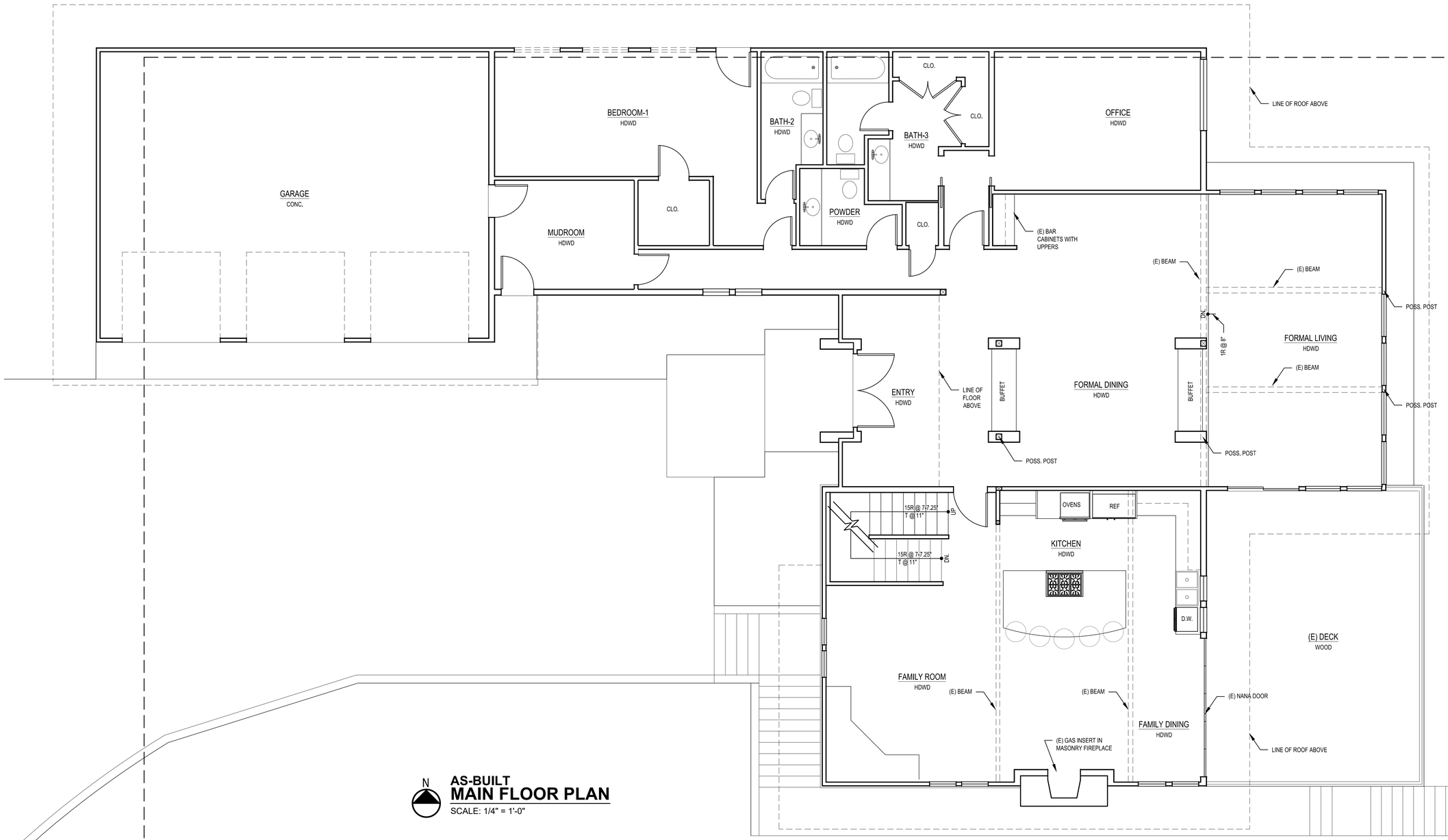
AS BUILT LOWER FLOOR PLAN

REVISIONS:
1 2019-8-21 DESIGN REVISIONS
2 2019-9-6 DESIGN REVISIONS

DRAWN BY: KE
CHECKED BY: BJS

SHEET AB.1

PLOT DATE: 9/6/2019



N

AS-BUILT
MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" X 36", IT IS A REDUCED PRINT; REDUCE SCALE ACCORDINGLY

PERMIT SET 9/06/19

STURMAN ARCHITECTS

TEL (425) 451-7003

9 103rd Avenue NE
Suite 203
Bellevue, WA 98004

5562 REGISTERED ARCHITECT
BRADLEY J. STURMAN
STATE OF WASHINGTON

www.sturmanarchitects.com

BAYLEY RESIDENCE
PERMIT SET
6060 E. MERCER WAY
MERCER ISLAND, WA 98040

AS BUILT MAIN FLOOR PLAN

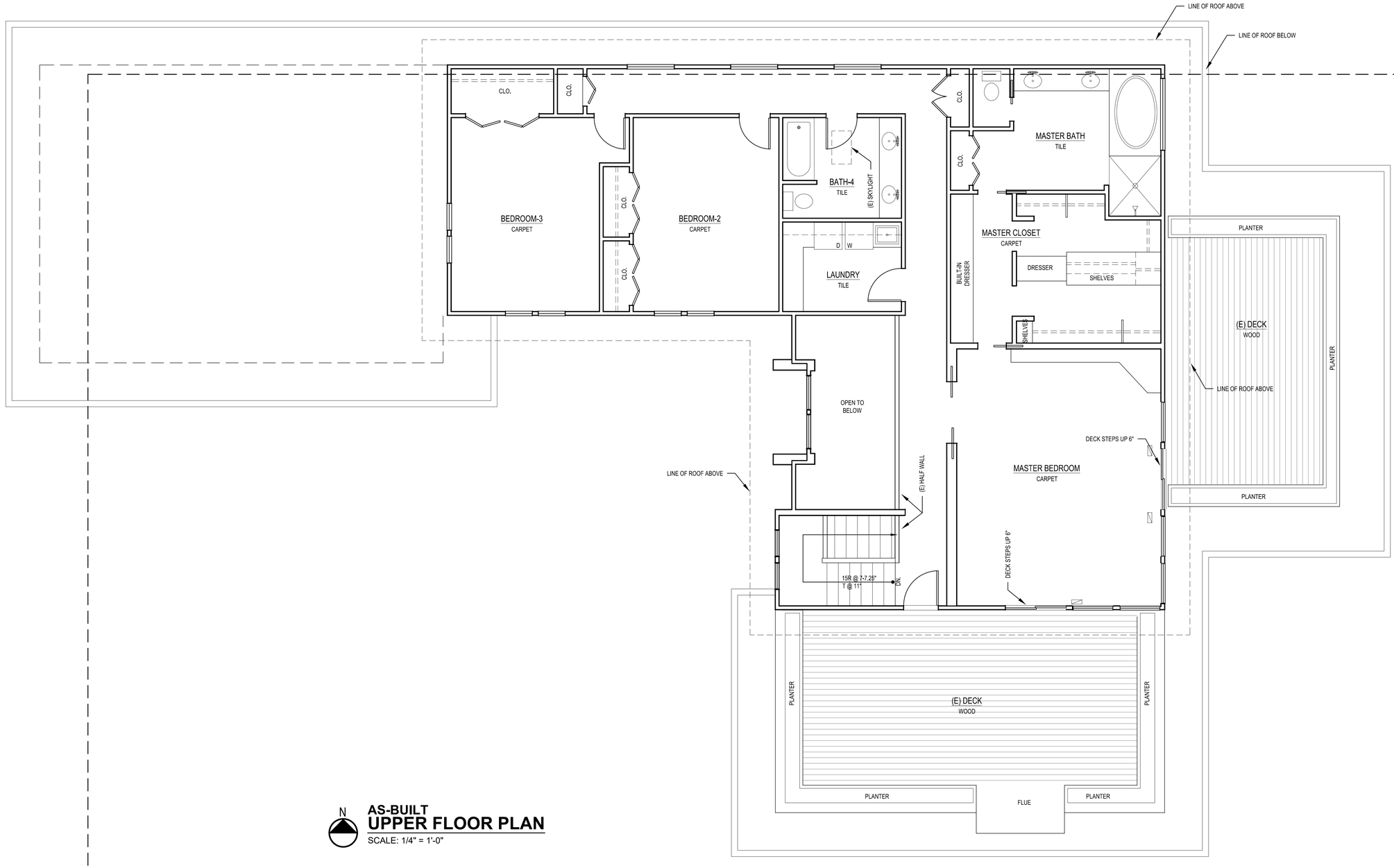
REVISIONS:
1 2019-8-21 DESIGN REVISIONS
2 2019-9-6 DESIGN REVISIONS
3
4
5
6

DRAWN BY: KE

CHECKED BY: BJS

SHEET **AB.2**

PLOT DATE: 9/6/2019



N

AS-BUILT
UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" X 36", IT IS A REDUCED PRINT; REDUCE SCALE ACCORDINGLY

PERMIT SET 9/06/19

STURMAN ARCHITECTS

TEL (425) 451-7003

9 103rd Avenue NE
Suite 203
Bellevue, WA 98004

5562 REGISTERED ARCHITECT
BRADLEY J. STURMAN
STATE OF WASHINGTON

BAYLEY RESIDENCE
PERMIT SET
6060 E. MERCER WAY
MERCER ISLAND, WA 98040

AS BUILT
UPPER FLOOR PLAN

REVISIONS:
1 2019-8-21 DESIGN REVISIONS
2 2019-9-4 DESIGN REVISIONS

DRAWN BY: KE

CHECKED BY: BJS

SHEET
AB.3

PLOT DATE: 9/6/2019